



**CITY OF GAYLORD PLANNING COMMISSION
AGENDA FOR MEETING OF AUGUST 5, 2026
7:00 P.M., CITY COUNCIL CHAMBERS
305 EAST MAIN STREET
GAYLORD MI 49735**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Corrections, Deletions or Amendments to Agenda
5. Approval of Minutes
6. Communications
7. Public Hearings
 - Special Use Permit, The Dive, 114 S Center Ave, Suite 103: Microblading Request
8. Public Comment by Citizens
- A. UNFINISHED BUSINESS:**
9. Johnson Oil Addition – 411 W Fourth Street
- B. NEW BUSINESS:**
10. Special Use Application for The Dive, 114 S Center Ave, Suite 103
11. Site Plan Review: RGB Properties, 1037 O'Rourke Blvd
12. Façade Changes: Manage Michigan, 130 W Main
12. Request to hold Special Planning Commission Meeting on August 19th, 2026

July 30, 2026

To: Planning Commission Members

From: Kim Awrey

Subject: Report for 8.5.26 Meeting

Public Hearing – The Dive (Public Hearing and New Business): Kait Wallace contacted our office the end of June about a concern that she had. She has been open in our community or quite sometime and several months ago she added her sister's Microblading business to her shop. She asked Travis if anything special was needed for this and she was told that she did not. I don't think that Travis realized that microblading involved tattooing. These shops will need the same special use permits as regular tattoo parlors. Kait has submitted the necessary paperwork, and we have posted for the necessary public hearing. We have not received any communications regarding this request. Kait will be present to answer any questions you may have.

Johnson Oil Addition (Unfinished Business): During our investigations into this Paul found an easement for a proposed roadway of 66' along the property line. We need to notice for a public hearing and have the planning commission and then the city council approve the abandonment of this roadway. Our engineers can start working with Johnson Oil to see about the removal of curbs, redesign of storm water drainage and moving the fire hydrant.

RGB Properties, 1037 O'Rourke Blvd (New Business): You are receiving the engineer's response as well as the architect's response back for the items that were not conforming. You will have the usual time to ask questions about the site plan at the meeting. I expect that Mr. Butler and Todd Seidell will both be present at the meeting.

Manage Michigan, 130 W Main (New Business): This building is owned by Cole Muzyl, and he is looking to paint the outside of the building. While this doesn't normally raise any questions for the Planning Commission, the building is in the DDA District and under our new zoning ordinance the section on Swiss Motif does apply to all new building construction and renovations. You can review this information starting on page 4-43 in the zoning ordinance and it is attached to the zoning permit as well. The main concern is that the colors are not within those approved in the ordinance.

Request to hold special meeting (New Business): Just prior to Travis being terminated there was a submission of a special use permit for a new tattoo parlor. The information was never shared with the rest of staff, and the special use permit application disappeared. We have received a new application and have noticed for a public hearing on August 19th at 7pm and request that the planning commission votes to approve this special meeting. We have done it as quickly as legally possible as we don't feel that it is fair to make him wait additional time when he could have already had his business open. At this meeting we can also handle the abandonment of the roadway near Johnson Oil's property.

You'll notice some changes to the agenda as well. Not all site plans require public hearings, so they are not listed under this section if not necessary. We have also appointed a new City Clerk, Andrea Boguth. She will be starting full-time with the city in a couple weeks, and we expect her to be present at September's meeting. If you have any questions about anything on the agenda – or questions in general, please let me know.

July 1st, 2026

Chairperson Hartz called the planning commission meeting to order at 7:00pm on Wednesday July 1st, 2026. The Pledge of Allegiance to the Flag of the United States of America followed.

Members present: Muzyl, Hartz, Koronka, Feeheley, and Mason.
Members absent: Awrey.

Motion by Mason, supported by Muzyl to mark Member Awrey's absence as unexcused.

Ayes: Unanimous. Motion carried.

Motion by Koronka, supported by Mason to approve the minutes from the June 3rd, 2026, meeting with correction of the spelling of Member Feeheley's name. The minutes read Pietrenel Feeheley and the correct spelling is Pieterneel Feeheley.

Ayes: Unanimous. Motion carried.

A public hearing was opened at 7:03pm for a site plan review of Johnson Oil addition, 411 W Fourth Street. Discussion ensued between architect Todd Seidell and members of the planning commission.

Public Comment: A. Hamilton and C. Ryder spoke during public comment.

Unfinished Business: None

New Business: The public hearing for the Johnson Oil addition, 411 W Fourth Street was closed at 7:39pm.

Motion by Muzyl, supported by Koronka, to table the addition of Johnson Oil at 411 W Fourth Street until the next planning commission meeting so Attorney Slough may research any possible easements and give his opinion on whether the zoning permit is legal since the property is showing owned by Dale Johnson but zoning permit was filed by Kevin Johnson. Also, to allow LS Engineering to weigh in on if storm drains and fire hydrant can be moved and what new configuration would meet city standards.

Ayes: Unanimous. Motion carried.

No other business was presented, and the meeting was adjourned at 7:43pm.

Kimberly Awrey, City Manager

**CITY OF GAYLORD
SPECIAL USE PERMIT APPLICATION**

305 E MAIN ST
GAYLORD, MI 49735
TELEPHONE: (989) 732-4060 FAX: (989) 732-8266

THE CITY OF GAYLORD STRONGLY ENCOURAGES THE USE OF THE SWISS ALPINE MOTIF IN THE CONSTRUCTION AND/OR RENOVATION OF ALL COMMERCIAL BUILDINGS IN THE CITY OF GAYLORD TO MAINTAIN, ENHANCE AND PROMOTE, "GAYLORD, THE ALPINE VILLAGE."

1. GENERAL INFORMATION:

551 E. Petaskey St.

Property Owner: Kaitlynn Wallace ↓
Address: 114 S. Center Ave Suite 103
City, State and Zip Code: Gaylord MI 49735
Telephone Number: 989 858 1555

Contractor or Agent: _____
Address: _____
City, State and Zip Code: _____
Telephone Number: _____

2. PROPERTY DESCRIPTION:

Tax ID Number: 802908845
Property Address: 114 S. Center Ave. Suite 103
Nearest Cross-Streets: Main St.
Zoning District: B1

3. PROPOSED USE AND/OR TYPE OF CONSTRUCTION:

a. Type of Construction:

____ Non-Residential Structure – Describe _____
____ Addition
____ Other – Describe – Canopy over handicap ramp
X Use Change of Existing Structure

SPECIAL USE PERMIT APPLICATION – Proposed Use And/Or Type of Construction

b. Proposed Use: zoning for tattoo use

4. PROPOSED SPECIFICATIONS:

- a. Setbacks: _____ Front _____ Rear
 _____ Side _____ Side
- b. Property Dimensions: _____
- c. Exterior Dimensions of Proposed Structure: _____
- d. Height of Proposed Structure: _____
- e. Square Footage of Proposed Structure: _____
- f. If Addition, Square Footage of Existing Structure: _____
- g. Proposed Parking Spaces: _____
- h. Parking Spaces Required Per Ordinance: _____
- i. Ordinance requires that all driveways, drive approaches, means of ingress and egress to and from parking areas, vehicle storage areas and service drives be either asphalt or concrete for all developments except Single and Two-Family Dwelling properties. Certain exceptions are permitted for those areas behind the front face of a structure for those properties located in the M-1 District. All drive approaches in the road right-of-way of any district, for any use must be either asphalt or concrete. A separate Drive Permit is required.

Does the Proposed Development Comply with the Above Requirements? yes

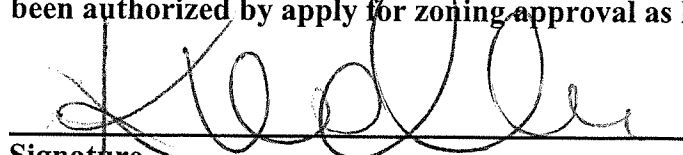
5. SITE PLAN:

Attach a scaled drawing using a common engineering or architect scale for all non-residential structures, which can be verified, in the field by the Zoning Administrator. Please include the following:

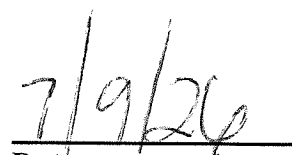
- | | |
|-------|--|
| _____ | Lot or Parcel Dimensions, Scale, North Arrow, etc. |
| _____ | Existing Building & Dimensions, Including Eaves and Dimensions |
| _____ | Proposed Building & Dimensions, Including Eaves |
| _____ | Front, Side and Rear Yard Setbacks |
| _____ | Name of Street, Easements or Dedicated Right-of-Way |
| _____ | Storm Water Retention or On-Site Drainage Detail |
| _____ | Building Elevation |
| _____ | Detailed Parking, Service Drives and Approaches, Including Surface Materials |
| _____ | Air Quality, Waste, Safety, and Security Plan |

6. CERTIFICATION:

I hereby agree to comply with the provisions of the Zoning Ordinance of the City of Gaylord for the installation, construction, alteration, addition, demolition or use described herein, and, if not the property owner, I hereby certify that the proposed work is authorized by the property owner and I have been authorized by apply for zoning approval as his/her selected agent.



Signature



Date

**CITY OF GAYLORD
SPECIAL USE PERMIT**

305 E MAIN ST
GAYLORD, MI 49735
TELEPHONE: (989) 732-4060 FAX: (989) 732-8266

Kaitlynn Wallace

(NAME OF APPLICANT)

551 E. Petoskey St. (989) 858-1555

(ADDRESS & TELEPHONE NO. OF APPLICANT)

114 S. Center Ave Suite 103

(ADDRESS OF CONSTRUCTION SITE OR USE)

THIS APPLICATION IS IN COMPLIANCE WITH THE CITY OF GAYLORD ZONING ORDINANCE AND THE APPLICANT IS ELIGIBLE TO APPLY FOR A BUILDING PERMIT FROM THE OTSEGO COUNTY BUILDING DEPARTMENT.

.....
APPROVAL IS GRANTED FOR THE FOLLOWING:

CONDITIONS ATTACHED:

APPROVED BY & TITLE

DATE

ZONING DISTRICT

SPECIAL USE PERMIT #



Account Number:	544870
Customer Name:	City Of Gaylord
Customer Address:	City Of Gaylord 305 E Main ST Gaylord MI 49735-1339
Contact Name:	City Of Gaylord
Contact Phone:	9897324060
Contact Email:	
PO Number:	

Date:	07/21/2026
Order Number:	12502600
Prepayment Amount:	\$ 0.00

Column Count:	2.0000
Line Count:	22.0000
Height in Inches:	2.3000

Print

Product	#Insertions	Start - End	Category
PET Gaylord Herald-Times	1	07/24/2026 - 07/24/2026	Public Notices
PET petoskeynews.com	1	07/24/2026 - 07/24/2026	Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$61.48
Tax Amount	\$0.00
Service Fee 3.99%	\$2.45
Cash/Check/ACH Discount	-\$2.45
Payment Amount by Cash/Check/ACH	\$61.48
Payment Amount by Credit Card	\$63.93

Order Confirmation Amount	\$61.48
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Public Notice

NOTICE IS HEREBY GIVEN that the Gaylord Planning Commission will hold a public hearing at 7:00 p.m. on Wednesday, August 5, 2026, in the City Council Chambers, located at 305 East Main Street, Gaylord, Michigan, 49735, for consideration of the following:

Request by The Dive – Special Use Permit Request by The Dive at 114 S Center Ave, Suite 10 in the B-1, Central Business District. This request is to allow for Body Art to take place at this location. The City of Gaylord Zoning Ordinance indicates that all Body Art Facility applications must have a public hearing before consideration.

Written and oral comments on the requests will be heard during this hearing. Written comments can be mailed to the attention of the Gaylord Planning Commission, 305 E Main Street, Gaylord, MI 49735 or via email to **pischelt@cityofgaylord.org**. Questions regarding the request should be directed to Tyler Pischel or Kim Awrey at 989-732-4060 or via email at **pischelt@cityofgaylord.org**.

Kim Awrey
City Manager
07/24/2026



GAYLORD METHODIST CHURCH
215 SOUTH CENTER ST
GAYLORD, MI 49735

GO NORTH PROPERTIES LLC
308 W MAIN ST
GAYLORD, MI 49735

HANEL, SABINE
6901 CUT OFF RD
AFTON, MI 49705

GATEWAY HAVEN VENTURES LLC
27 LIBRARY ST NE UNIT 505
GRAND RAPIDS, MI 49503

HAVY LLC
410 PETOSKEY ST
PETOSKEY, MI 49770

GO NORTH PROPERTIES LLC
408 W 6TH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GOLD COAST PROPERTIES INC
502 NORTHLAND DR STE 200
ROCKFORD, MI 49314

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

WESTERMAN, ROBERT T II & LORI A
889 WOODCREST DR
GAYLORD, MI 49735

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

PRUITT ROBERT E & JANET M
118 W SECOND ST
GAYLORD, MI 49735

PRUITT ROBERT E & JANET M
118 W SECOND ST
GAYLORD, MI 49735

GAYLORD 120 E MAIN LLC
877 E 16TH ST
HOLLAND, MI 49423

PLAZA PROPERTIES GAYLORD LLC
152 N ESTATES DR
GAYLORD, MI 49735

ALEXANDER LIMITED PARTNERSHIP LP
116 COURT ST
MT PLEASANT, MI 48858

APPLETON, GARY H & TISA M
5578 MANUKA TRL
GAYLORD, MI 49735

CITIZENS BANK
2 CORPORATE DR SUITE 300
SOUTHFIELD, MI 48076

STUDY, MELINDA
5081 E MARTIN LAKE DR
GAYLORD, MI 49735

HEADWATERS LAND CONSERVANCY INC
PO BOX 783
GAYLORD, MI 49734

THURSTON, TODD M
615 SHELDON ST W
GAYLORD, MI 49735

ROBINSON, RYAN
324 E MAIN ST APT C
GAYLORD, MI 49735

GO NORTH PROPERTIES LLC
408 W 6TH ST
BLOOMINGTON, IN 47404

GO NORTH PROPERTIES
121 E KIRKWOOD STE 304
BLOOMINGTON, IN 47408

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

MOREHOUSE, VANCE & RENEE
2162 VANTYLE RD
GAYLORD, MI 49735

ASHTON, JASON
414 E FIRST ST
GAYLORD, MI 49735

LIFE CHURCH OF GAYLORD
2210 E DIXON LAKE DR
GAYLORD, MI 49735

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

APPLEGATE BUILDING LLC
408 W SIXTH ST
BLOOMINGTON, IN 47404

CITY OF GAYLORD
305 E MAIN ST
GAYLORD, MI 49735

BIE PROPERTIES LLC
8449 NORTHVALE RD
JOHANNESBURG, MI 49751

106 W MAIN LLC
PO BOX 673
GAYLORD, MI 49734

EQUILIBRIUM HOLDINGS LLC
PO BOX 673
GAYLORD, MI 49734

EQUILIBRIUM HOLDINGS LLC
PO BOX 673
GAYLORD, MI 49734

OTSEGO COUNTY TREASURER
225 W MAIN ST #107
GAYLORD, MI 49735

GAYLORD DOWNTOWN DEVELOPMENT
225 W MAIN ST
GAYLORD, MI 49735

EQUILIBRIUM HOLDINGS LLC
PO BOX 673
GAYLORD, MI 49734

CROSSROADS INDUSTRIES INC
130 W MAIN ST
GAYLORD, MI 49735

132 W MAIN LLC
PO BOX 309
GAYLORD, MI 49734



L. S. Engineering, Inc.
2508 West M-32, Gaylord, MI 49735
200 South Clay Street, Greenville, MI 48838
1345 Monroe Ave., Suite 136, Grand Rapids, MI 49505

LSEngineering.com
Phone: (989) 448-2626
Phone: (616) 225-1944
Phone: (616) 643-0810

June 24, 2026

City of Gaylord
Mr. Travis Hewitt, Treasurer/Zoning Administrator
305 East Main Street
Gaylord, Michigan 49735

Re: **Site Plan Review – Johnson Oil, 411 W. Fourth Street**

Dear Travis,

L.S. Engineering, Inc. (LSE) has reviewed the submittal prepared by Todd L. Seidell Architect of Gaylord, Michigan, for the proposed addition to the west and south sides of the existing service building, located at 411 W. Fourth Street in the City of Gaylord.

The submittal, received via email June 18, 2026, included the following materials:

- Zoning Permit Application – dated 6/18/2026 and signed by Todd Seidell
- Plan Set titled, “Johnson Oil Propane” and consisting of eight sheets, dated 6/11/2026 and prepared by Lapham Associates of West Branch, Michigan. This plan set is sealed by a professional engineer.
- Architectural floor plan drawing (1 sheet) dated 5/18/2026.
- Architectural elevation drawings (2 sheet) dated 5/18/2026.

LSE has reviewed the submittal for general compliance with the City of Gaylord Zoning Ordinance (adopted October 13, 2025). Our comments are provided below.

Section 4.8.B — Compliant

The existing/proposed vehicle service garage is a permitted use within the C-2 district.

Section 4.8.C.1 — Compliant

The lot exceeds the minimum required width. The proposed addition will not alter the existing building height (27'-2" per the zoning permit application) which complies with the maximum allowed height of 100 feet.

Section 4.8.C.2 — See Discussion

A 5-foot side yard setback is required, along with a 5-foot rear setback. The proposed development meets or exceeds the side yard and rear yard setbacks based on the property lines shown. **The extent of the S. Indiana Avenue right-of-way south of W. Fourth Street is unclear and may impact the proposed project and setback requirements.**

Section 4.8.C.3.a — Compliant

No new accessory buildings are proposed on the site plan.



L. S. Engineering, Inc.
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200 South Clay Street, Greenville, MI 48838
1345 Monroe Ave., Suite 136, Grand Rapids, MI 49505

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Mr. Travis Hewitt, June 24, 2026

Section 4.8.C.3.b — Not applicable

Section 4.8.C.3.c — Compliant

No new fences are proposed on the site plan.

Section 4.8.C.3.f (and Section 3.18) — Compliant

On plan sheet C-5, the applicant provided parking calculations:

- Automobile Repair Garages or Gast Stations: Per Table 3.18, 2 parking spaces are required for each auto repair bay plus 1 space for each employee on maximum working shift. Based on the info provided, there are 3 existing repair bays plus one new bay proposed for total of four repair bays x 2 spaces = 8 parking spaces. Additionally, the calculations note a maximum shift is 5 employees. $8 + 5 = 13$ parking spaces required. The existing site plan contains 13 parking spaces along the east edge of the property.

Although the parking space dimensions do not appear to be shown on the plans, it appears they meet the minimum area of 180 square feet. Snow storage areas are not identified in the plans, but there appears to be sufficient area on the property for snow storage.

Section 4.8.C.3.g — See Discussion

Proposed elevation drawings are provided in the submittal and note existing and/or proposed “prefinished metal wall panels”. In accordance with the ordinance, **the Planning Commission is responsible for determining whether the use of metal siding is consistent with the character of the surrounding area.**

Section 3.17.D — Not Compliant

Refer to plan sheet C-7 for proposed landscaping plan and details. Per the proposed plan, there is to be one canopy tree and five shrubs located in the northwest corner of the property.

Front Yard Landscaping: Based on approximately 198 feet of frontage along W Fourth Street, the following are required and proposed for the property:

<u>Required</u>	<u>Proposed</u>
• 3 canopy trees	1 canopy tree
• 4 evergreen trees	
• 4 ornamental trees	
• 11 shrubs	5 shrubs

In general, the proposed landscaping is short of the ordinance requirements, however the Planning Commission may consider flexibility based on the specific project.

Section 3.18.G — Not Compliant

Per the ordinance, all driveways, driveway approaches, and means of ingress and egress to and from parking areas, loading areas, vehicle storage areas, and the like shall be surfaced in the same manner as required for parking spaces. **Gravel is not a permitted surface and there is no asphalt surfacing proposed.**



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Mr. Travis Hewitt, June 24, 2026

Section 5.2.B — Applicability

As the project includes an expansion of a non-residential building which is proposed to increase by 50 percent or more of the size of the existing building, it requires a Level 2 Review, including Site Plan Review and Planning Commission approval.

Final Site Plan Review

Section 5.4.E.1 —Compliant

The required general information is provided in the submittal.

Section 5.4.E.2 —See Discussion

The submittal does not include a legal description; it only includes a tax description.

Section 5.4.E.3 —Compliant

All lot lines, dimensions, and setbacks are shown on the plans. Abutting streets, adjacent driveways, and related features are also included. The plans do not show any proposed changes to the existing drive approach within the W. Fourth Street right-of-way.

Section 5.4.E.4 — See Discussion

1. Building dimensions are provided.
2. Elevation drawings are included.
3. Buildings/structures within 100 feet are adequately shown.
4. No accessory structures are shown, except for the existing building in the southeast corner of the overall property.
5. Floor plans are provided for the proposed addition.
6. Existing parking layout is shown on sheet C-5.
7. Sidewalks are not proposed.
8. There are no proposed utilities shown on the plan. Existing City utilities within the W. Fourth Street right-of-way are included on the site plan. **It is unknown if new water and sanitary sewer services are required for the addition. There are no proposed storm water accommodations or calculations included for the addition.**

Utilities Review:

Water: Per City DPW records, there is an existing water service to the building that is located just east of the fire hydrant on Fourth Street. Plans should indicate whether the existing service to the property will be utilized or if a new service is required.

Sanitary Sewer: Per DPW records, existing sanitary service is provided near the northwest corner of the existing building. Plans should indicate whether the existing service to the property will be utilized or if a new service is required.



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Stormwater: No storm sewer, storm structures or storm retention/detention ponds are proposed. Storm water calculations are not provided.

9. **Exterior lighting plans are not provided.** Fixtures must be such that they shield light from adjacent properties and roadways.
10. No screening walls or fences are proposed.
11. Refer to Section 3.17.D discussion in this letter.
12. **Snow storage areas are not shown on the plans.**
13. Loading space is not shown in the plans.
14. Hazardous materials information is not included in the plans.
15. Unique features not applicable.
16. MDOT permit is not required.

Section 5.4.E.5 — See Discussion

1. No wetlands present.
2. Existing and proposed elevations are provided; however, **the proposed spot elevations shown on Plan Sheet C-6 appear to be approximately 200 feet off.** In addition, **it is unclear how the proposed elevations in the northwest corner of the addition will tie into the existing grades at the curbed intersection.** The proposed spot elevation of 1343.4 is more than one foot higher than the existing elevations in this area. **If modifications to the existing intersection are necessary to accommodate the proposed grading, those improvements should be clearly shown on the plans.**
3. The plans do not specifically address stormwater drainage or discharge.
4. Existing vegetation is not shown on the plans.

Additional Comments

1. The plans should be provided to the Fire Chief for review and comment.
2. The utility plan has been shared with DPW, Water, and Wastewater staff. Any comments received should be forwarded to the Planning Commission and applicant.

Thank you for the opportunity to assist the City of Gaylord with this review. If you or the Planning Commission have any questions or require additional information, please feel free to contact me at 989-448-2626 or poyntera@lsengineering.com.

Sincerely,

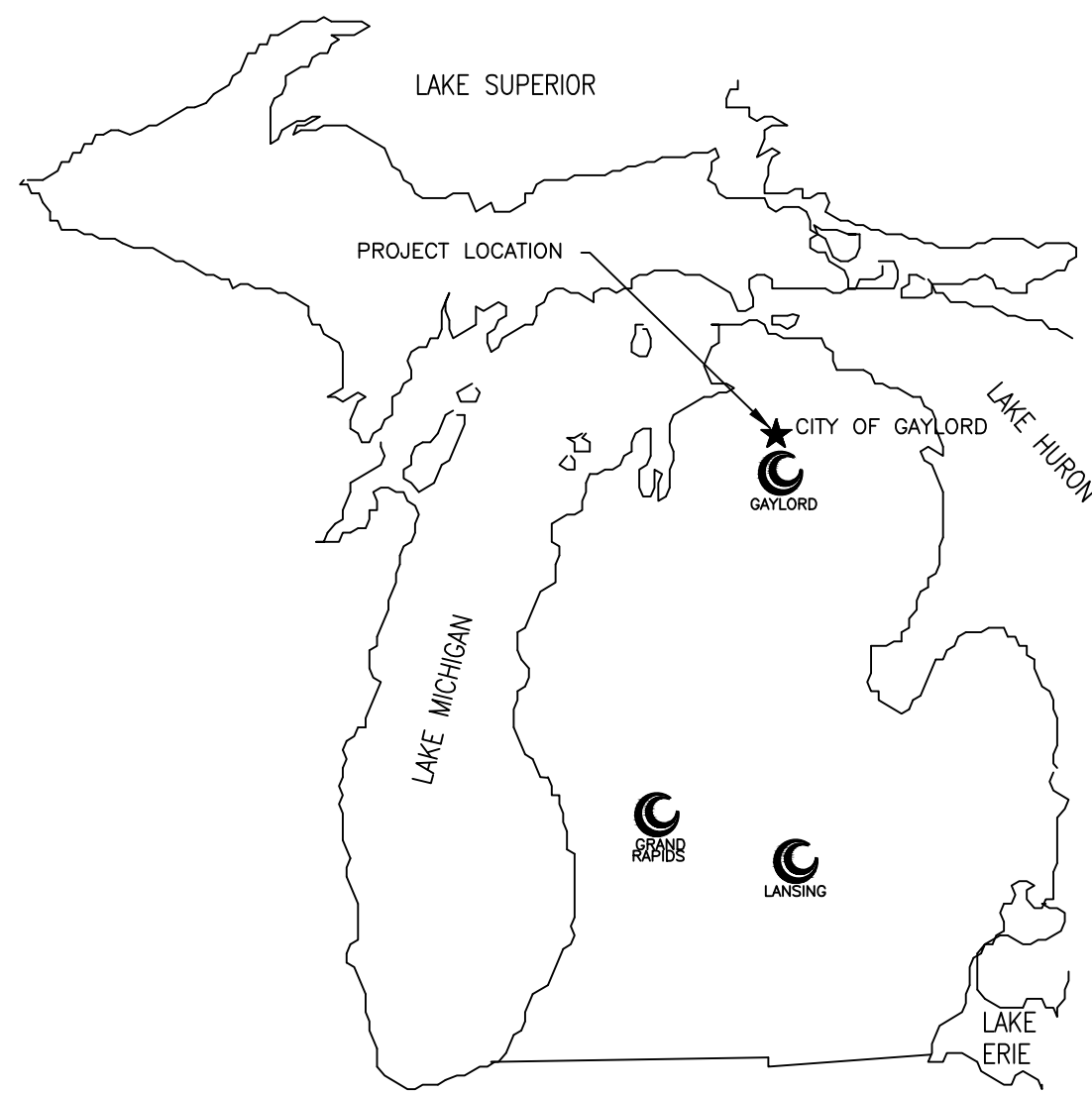
Amanda Poynter, P.E.



DESIGNED BY: UMF
CHECKED BY: UMF
APPROVED BY: UMF
DWS'S MOD BY: AP
72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL-FREE)



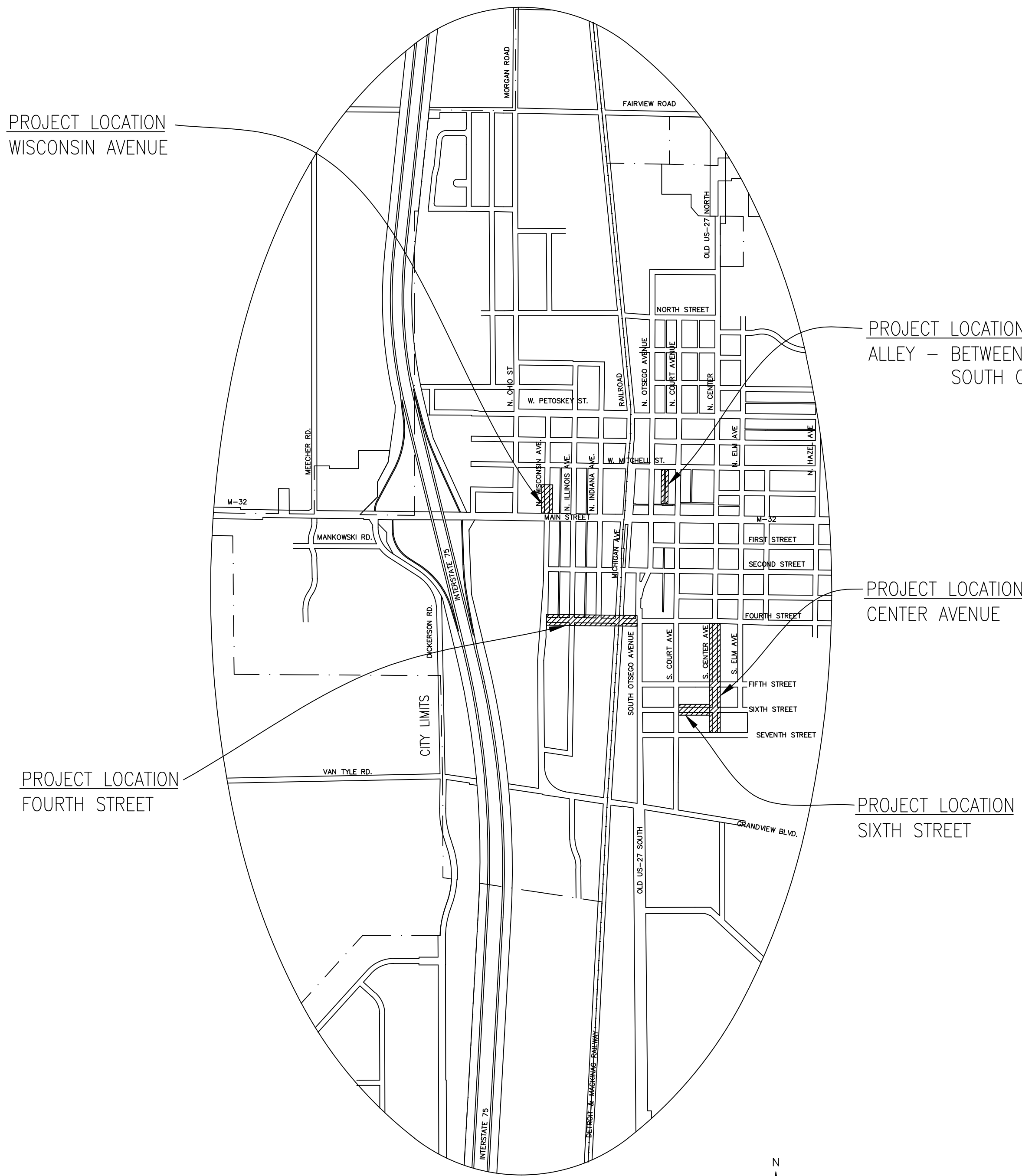
72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL-FREE)



LOCATION MAP
SCALE: NONE



CONSTRUCTION PLANS FOR 2003 STREET IMPROVEMENT PROJECT CITY OF GAYLORD OTSEGO COUNTY, MICHIGAN MAY 2003



PROJECT MAP
SCALE: NONE



LIST OF SHEETS

- 1 TITLE SHEET
- 2 NOTE SHEET
- 3 DETAIL SHEET
- 4 TYPICAL CROSS SECTIONS
- 5 CENTER AVE. PLAN & PROFILE - STA 0+00 TO STA 11+00
- 6 CENTER AVE. PLAN & PROFILE - STA 11+00 TO P.O.E.
- 7 SIXTH ST. PLAN & PROFILE
- 8 FOURTH ST. PLAN & PROFILE - STA 0+00 TO STA 11+00
- 9 FOURTH ST. PLAN & PROFILE - STA 11+00 TO P.O.E.
- 10 WISCONSIN AVE. PLAN & PROFILE
- 11 ALLEY SOUTH OF MITCHELL ST. PLAN & PROFILE

REVISIONS		DATE	SCALE	AS SHOWN
725 Padden Street Gaylord, MI 49735 (517) 371-1700				
133 West Main Street, Suite 200 Gaylord, Michigan 49734 (989) 732-5131				02671
4300 Tree Lake Road NW, Suite B Grand Rapids, Michigan 49504 (616) 791-1878				DATE: FEBRUARY 2003
CAPITAL CONSULTANTS www.capitalconsultants.us		GAYLORD 2003 STREET IMPROVEMENTS CITY OF GAYLORD OTSEGO COUNTY, MICHIGAN		
TITLE SHEET		SHEET		
1		AS-BUILT		

RECORD DRAWINGS



WE RECYCLE

DESIGNED BY: APF APPROVED BY: LWF
CHECKED BY: LWF DWG'S MOD BY: APF
APR 2003 - 12" Plan, Profile, and Section
V:\1010\PROJECTS\2003\102-07\Gaylord 2003 Streets\DESIGN\DWG\102-07-01 Center & Sixth St. Right of Way - Model

LEGEND

(ADJ)	ADJUST
(L)	UTILITY CO. TO RELOCATE
(REL)	RELOCATE
(R)	REMOVE
(BH)	BULKHEAD
(AB)	ABANDON

NOTE: ALL EXISTING SHALLOW OR GALVANIZED WATER SERVICES ARE TO BE REPLACED EXCEPT AS OTHERWISE DETERMINED BY THE CITY. THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES WITH THE ASSISTANCE OF THE CITY.

CONSTRUCT 3110 SFT 4" SIDEWALK AND RAMPS THIS SHEET. SEE DETAIL ON SHEET 2.

CONSTRUCT 410 SFT 6" SIDEWALK AT DRIVE OPENINGS THIS SHEET. SEE DETAIL ON SHEET 2.

TREE TRIMMING MAY BE REQUIRED AS DIRECTED BY THE CITY

SIDEWALK ALIGNMENT TO BE FIELD DETERMINED

STORM SEWER SCHEDULE

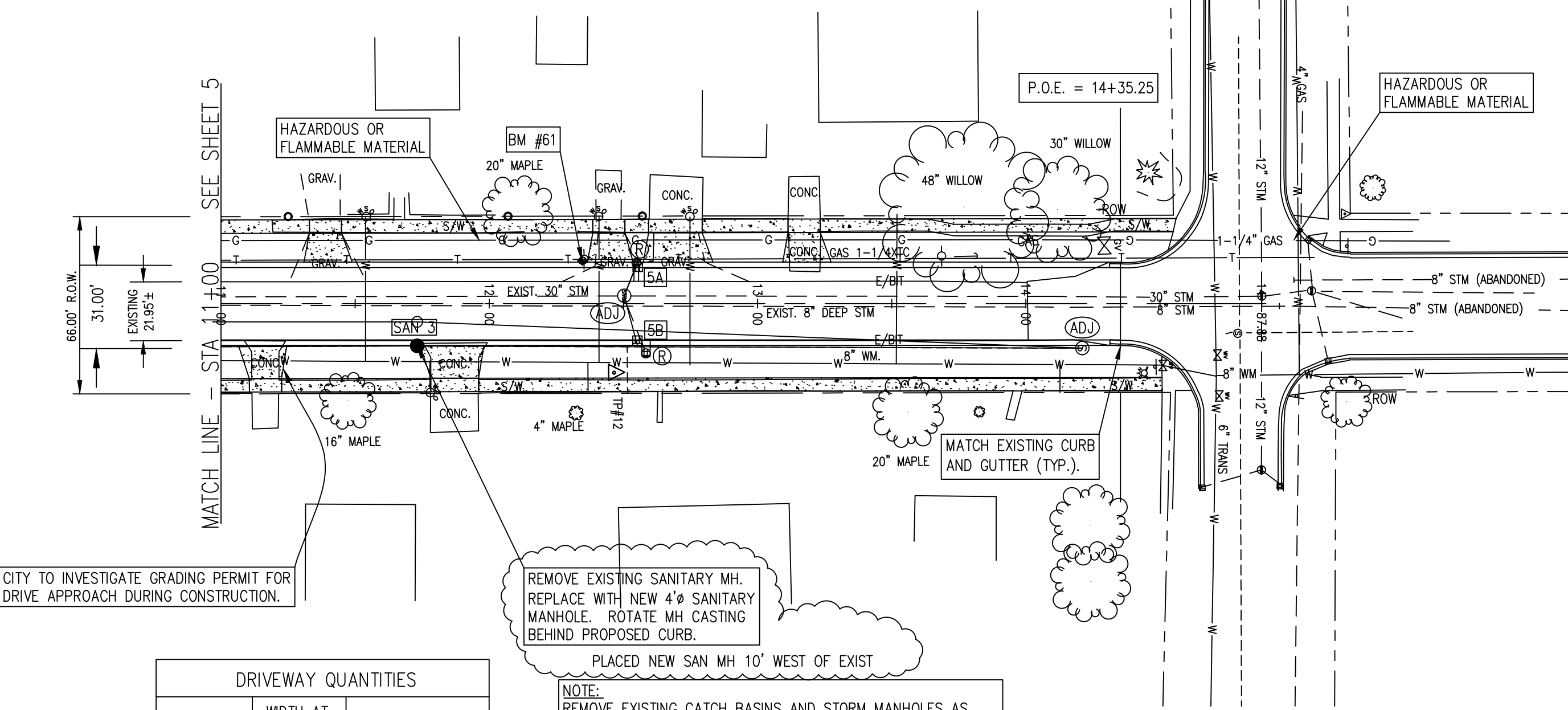
STRUCTURE NUMBER	COVER	STATION & OFFSET	DIAMETER (FEET)	STORM 12" DIA.	PIPE SLOPE	TOP OF CURB/ MH RIM
5A	K	12+55.25, 15.50' L	2'	14"	1.00 %	1343.02
5B	K	12+55.25, 15.50' R	2'	19"	1.00 %	1343.02
-	-	-	-	33	-	-

BM #61 EL = 1343.38
SET MAG NAIL IN PP.

BM #62 EL = 1343.71
SET MAG NAIL IN PP.

BM #63 EL = 1342.80
SET MAG NAIL IN PP.

BM #64 EL = 1341.90
SET MAG NAIL IN PP.

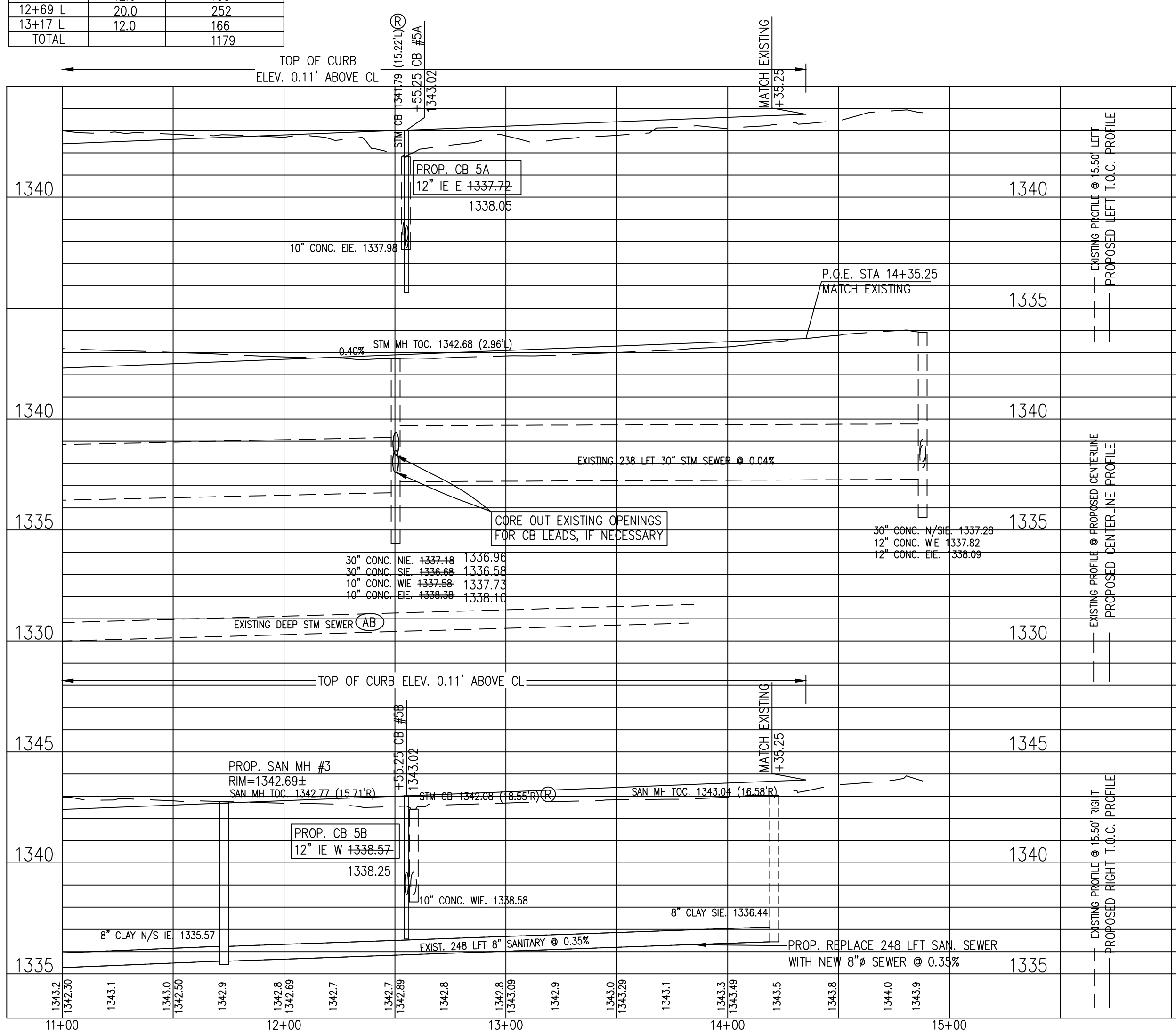


DRIVEWAY QUANTITIES

STATION	WIDTH AT FACE OF SW OR AT ROW	CONCRETE DRIVE APPROACH 6 INCH
UNIT	FT	SFT
11+17 R	12.0	186
11+39 L	12.0	161
11+87 R	17.9	256
12+45 L	12.0	158
12+69 L	20.0	252
13+17 L	12.0	166
TOTAL	-	1179

NOTE: REMOVE EXISTING CATCH BASINS AND STORM MANHOLES AS SHOWN ON THE PLANS AND BULKHEAD OR REMOVE STORM SEWER, AS REQUIRED. ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE PAID AS "ABANDON EXISTING STORM SEWER".

SANITARY SEWER SERVICES: THE CONTRACTOR SHALL LOCATE & REPLACE ALL EXISTING SANITARY SEWER SERVICES BETWEEN FIFTH ST. & FOURTH ST. THE SERVICES SHALL BE REPLACED TO THE PROPERTY LINE WITH NEW SEWER WYES, 6" LEAD AND CLEANOUTS. CONNECT TO EXISTING. SEE DETAIL ON SHEET 2.



COURT AVENUE

NOTE: ALL EXISTING SHALLOW OR GALVANIZED WATER SERVICES ARE TO BE REPLACED EXCEPT AS OTHERWISE DETERMINED BY THE CITY. THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES WITH THE ASSISTANCE OF THE CITY.

CONSTRUCT 1886 SFT 4" SIDEWALK AND RAMPS THIS SHEET. SEE DETAIL ON SHEET 2.

CONSTRUCT 391 SFT 6" SIDEWALK AT DRIVE OPENINGS THIS SHEET. SEE DETAIL ON SHEET 2.

SIDEWALK ALIGNMENT TO BE FIELD DETERMINED

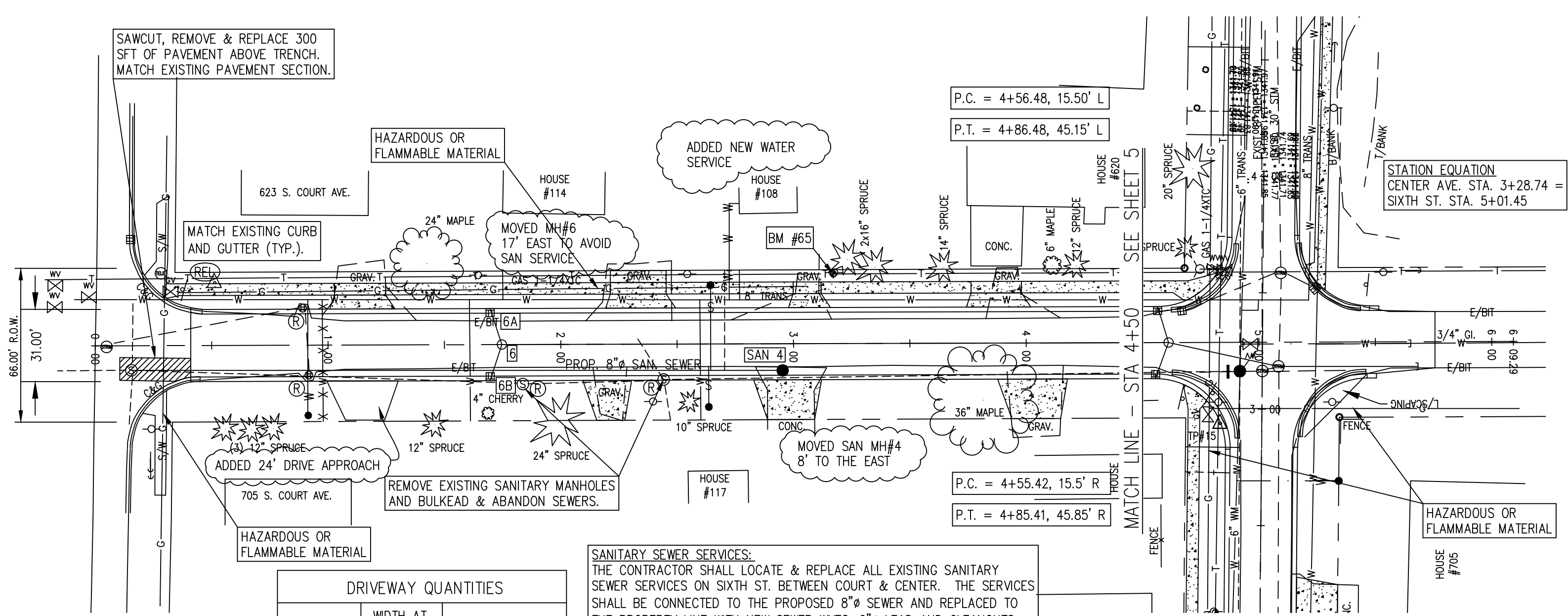
STORM SEWER SCHEDULE

STRUCTURE NUMBER	COVER	STATION & OFFSET	DIAMETER (FEET)	STORM 12" DIA.	PIPE SLOPE	TOP OF CURB/ MH RIM
UNIT	TYPE	UNIT	FEET	% SLOPE	ELEV.	
6	B	1+74.66, 0.00' L/R	4'	0'	286'	0.15 % 1339.974
6A	K	1+69.66, 15.50' L	2'	16"	0'	1.00 % 1340.08
6B	K	1+69.66, 15.50' R	2'	16"	0'	1.00 % 1340.08
-	-	-	-	32	286	-

NOTE: PROPOSED STORM STRUCTURES 2, 2A & 2B ARE INCLUDED IN SCHEDULE ON SHEET 5.

STATION EQUATION
CENTER AVE. STA. 3+28.74 =
SIXTH ST. STA. 5+01.45

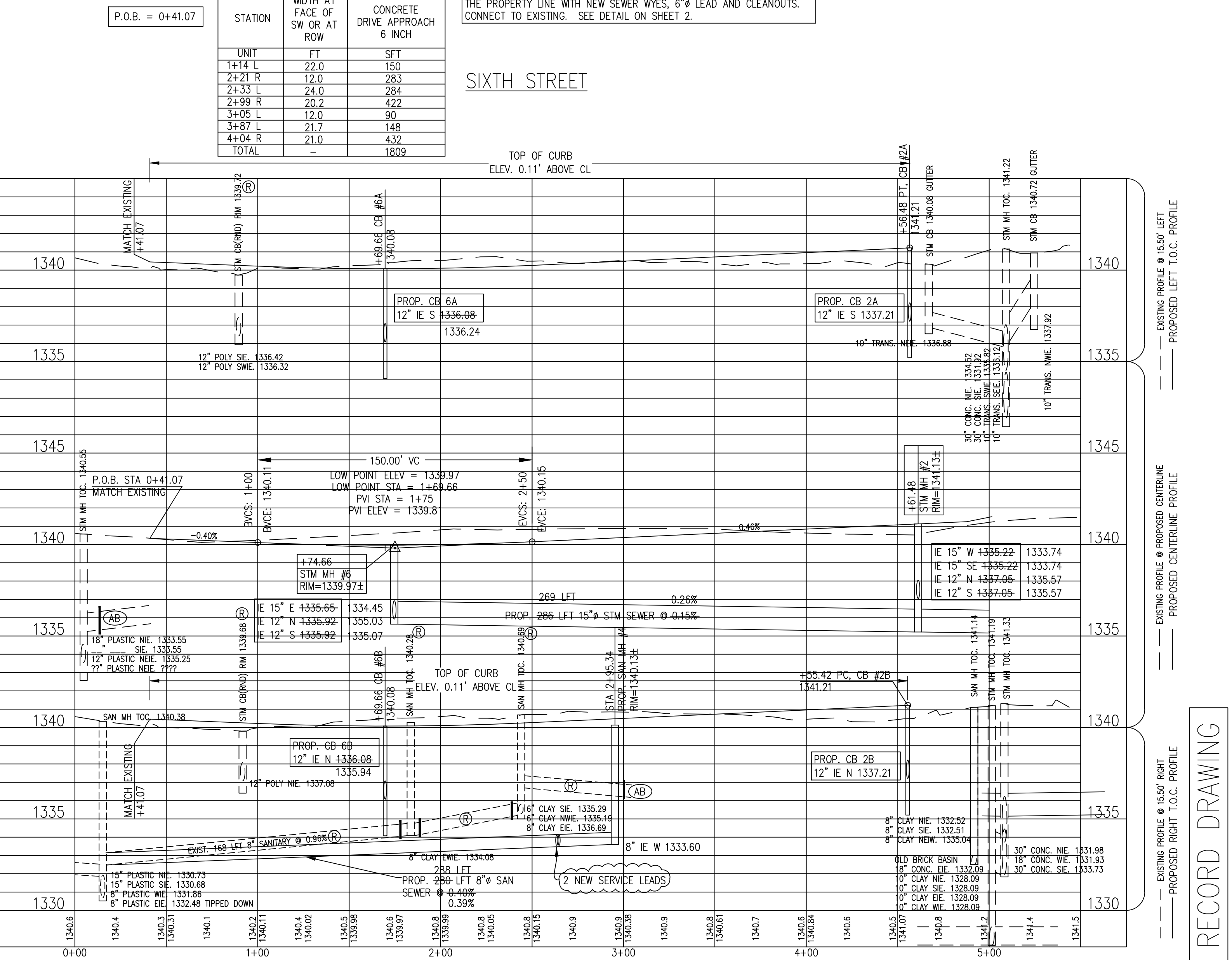
BM #65 EL = 1341.76
SET MAG NAIL IN PP.



DRIVEWAY QUANTITIES

STATION	WIDTH AT FACE OF SW OR AT ROW	CONCRETE DRIVE APPROACH 6 INCH
UNIT	FT	SFT
1+14 L	22.0	150
2+21 R	12.0	283
2+33 L	24.0	284
2+99 R	20.2	422
3+05 L	12.0	90
3+87 L	21.7	148
4+04 R	21.0	432
TOTAL	-	1809

SANITARY SEWER SERVICES: THE CONTRACTOR SHALL LOCATE & REPLACE ALL EXISTING SANITARY SEWER SERVICES ON SIXTH ST. BETWEEN COURT & CENTER. THE SERVICES SHALL BE CONNECTED TO THE PROPOSED 8" SEWER AND REPLACED TO THE PROPERTY LINE WITH NEW SEWER WYES, 6" LEAD AND CLEANOUTS. CONNECT TO EXISTING. SEE DETAIL ON SHEET 2.



RECORD DRAWING

CENTER AVE. PLAN & PROFILE
STA 11+00 TO P.O.E.
SIXTH ST. PLAN & PROFILE

GAYLORD 2003 STREET IMPROVEMENTS
CITY OF GAYLORD
OTSEGO COUNTY, MICHIGAN



CAPITAL CONSULTANTS
www.capitalconsultants.com

REVISIONS

DATE	SCALE	PROJ. NO.	DATE
12/10/03	1"=40'	02671	FEBRUARY 2003

City of Gaylord

305 East Main Street, Gaylord, MI 49735
Phone: (989) 732-4060 Fax: (989) 732-8266

ZONING PERMIT APPLICATION

THE CITY OF GAYLORD STRONGLY ENCOURAGES THE USE OF THE SWISS ALPINE MOTIF IN THE CONSTRUCTION AND/OR RENOVATION OF ALL COMMERCIAL BUILDINGS IN THE CITY OF GAYLORD TO MAINTAIN, ENHANCE AND PROMOTE, "GAYLORD, THE ALPINE VILLAGE."

1. GENERAL INFORMATION:

Property Owner Name: RGB Properties Phone Number: 989-614-1047

Property Owner Address: 1510 Dickerson Blvd.
~~1037 O'Parke Blvd~~ - Gaylord MI

Business Name (If Applicable): Legend bedliners & Accessories

Contractor/Agent: Tom L. Seidell Architect Phone Number: 989-731-0372

Address: P.O. Box 2189 Gaylord MI 49734

2. PROPERTY DESCRIPTION:

Tax ID Number: 103-150-000-045-00

Property Address: 1037 O'Parke Blvd. - Gaylord, MI 49735

Nearest Cross-Street(s): Dickerson

Zoning District: M-1

3. PROPOSED USE AND/OR TYPE OF CONSTRUCTION

A. Proposed Use: Detailing center for Autos / Bedliners

B. Type of Construction:

☐ Single Family Dwelling

☐ Two or Multiple Family Dwelling - Number of Units: _____

☐ Garage, Storage Shed or Other Accessory Structure - Describe: _____

☒ Non-Residential Structure - Describe: Commercial garage & detailing.

☐ Addition

☐ Other - Describe: _____

☐ Use Change of Existing Structure

4. PROPOSED SPECIFICATIONS

- A. Setbacks: 25 Front 5' Rear
15 Side 15 Side
- B. Property Dimensions: 100' x 250'
- C. Exterior Dimensions of Proposed Structure: 60' x 60' + 10' x 24'
- D. Height of Proposed Structure: 26'-8"
- E. Square Footage of Proposed Structure: 3840 sf.
- F. If Addition, Square Footage of Existing Structure: 2400 s.f.
- G. Proposed Parking Spaces: 9
- H. Parking Spaces Required Per Ordinance: 12
- I. Ordinance requires that all driveways, drive approaches, means of ingress and egress to and from parking areas, vehicle storage areas and service drives be either asphalt or concrete for all developments except Single and Two-Family Dwelling properties. Certain exceptions are permitted for those areas behind the front face of a structure for those properties located in the M-1 District. All drive approaches in the road right-of-way of any district, for any use, must be either asphalt or concrete. A separate Drive Permit is required.

Does the Proposed Development Comply with the above requirements?

☒ Yes ☐ No

If no, please explain:

5. SITE PLAN:

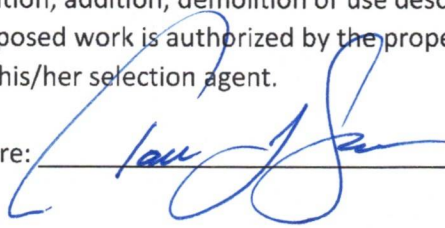
Attach a scaled drawing using a common engineering or architect scale for all non-residential structures, which can be verified, in the field by the Zoning Administrator. Include the following:

- ☒ Lot or Parcel Dimensions, Scale, North Arrow, etc.
- ☒ Existing Building & Dimensions, Including Eaves and Dimensions
- ☒ Proposed Building & Dimensions, Including Eaves
- ☒ Front, Side and Rear Yard Setbacks
- ☒ Name of Street, Easements or Dedicated Right-of-Way
- ☒ Storm Water Retention or On-Site Drainage Detail
- ☒ Building Elevation
- ☒ Detailed Parking, Service Drives and Approaches, including Surface Materials

6. CERTIFICATION

I, hereby agree to comply with the provisions of the Zoning Ordinance of the City of Gaylord for the installation, construction, alteration, addition, demolition or use described herein, and, if not the property owner, I hereby certify that the proposed work is authorized by the property owner and I have been authorized to apply for zoning approval as his/her selection agent.

Application Signature: _____



Date: _____

6/10/26

7. APPROVAL

This application is in compliance with the City of Gaylord Zoning Ordinance and the application is eligible to apply for a building permit from the Otsego County Building Department.

Approval is granted for the following:

Conditions attached:

Approved _____ Denied _____

Reason: _____

Zoning District: _____ Zoning Permit Number: _____

Zoning Administrator Signature: _____ Date: _____



L. S. Engineering, Inc.
2508 West M-32, Gaylord, MI 49735
200 South Clay Street, Greenville, MI 48838
1345 Monroe Ave., Suite 136, Grand Rapids, MI 49505

LSEngineering.com
Phone: (989) 448-2626
Phone: (616) 225-1944
Phone: (616) 643-0810

July 7, 2026

City of Gaylord
Ms. Kimberly Awrey, City Manager
305 East Main Street
Gaylord, Michigan 49735

Re: **Site Plan Review – Legend Bedliners & Accessories Addition**

Dear Kim,

L.S. Engineering, Inc. (LSE) has reviewed the submittal prepared by Todd L. Seidell Architect of Gaylord, Michigan, for the proposed addition of a commercial garage and detailing facility, to be added on to the existing Legend Bedliner & Accessories building, located at 1037 O'Rourke Blvd in the City of Gaylord. The proposed plans include an addition to the existing building, as well as parking lot and overall site layout improvements.

The submittal, received via email July 2, 2026, included the following materials:

- Zoning Permit Application – dated 6/10/2026 and signed by Todd Seidell
- Plan Set titled, "Legend Bedliners & Accessories" and consisting of 10 sheets, dated 6/25/2026 and prepared by Lapham Associates of West Branch, Michigan. This plan set is sealed by a professional engineer.
- Architectural floor plan drawing (1 sheet) dated 6/25/2026.
- Architectural elevation drawing (1 sheet) dated 6/25/2026.

LSE has reviewed the submittal for general compliance with the City of Gaylord Zoning Ordinance (adopted October 13, 2025). Our comments are provided below.

Section 4.9.B — Compliant

The proposed addition to the auto accessory/detailing building is a permitted use within the M-1 district.

Section 4.9.C.1 — Compliant

The proposed building height (26'-8" per the zoning permit application) complies with the maximum allowed height of 100 feet.

Section 4.9.C.2 — Compliant

A 25-foot front setback is required along both O'Rourke and Dickerson. A 15-foot rear setback is required along the south side of the property. The proposed development meets the front yard and rear yard setbacks.

Section 4.9.C.3.a — Compliant

No new accessory buildings are proposed on the site plan.



L. S. Engineering, Inc.
2508 West M-32, Gaylord, MI 49735
200 South Clay Street, Greenville, MI 48838
1345 Monroe Ave., Suite 136, Grand Rapids, MI 49505

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Phone: (616) 225-1944
Phone: (616) 643-0810

Ms. Kimberly Awrey, July 7, 2026

Section 4.9.C.3.b — Not applicable

Section 4.9.C.3.c — Compliant

No fences are proposed on the site plan.

Section 4.9.C.3.f (and Section 3.18) — Not Compliant

On plan sheet C-5, the applicant provided parking calculations:

- **Automobile Repair Garages or Gas Stations**
 - The ordinance requires 2 spaces for each auto repair service bay - The calculations provided indicate four work bays in the new addition, **however it appears that there are also two work bays in the existing building, for a total of 6 work bays.**
 - The ordinance requires 1 space for each employee on maximum working shift – The calculations provided state the maximum shift is 4 employees.

In summary, if there are indeed going to be 6 repair bays in the overall building, the ordinance requires a total of 12 parking spaces plus the 4 spaces for the maximum number of employees on shift, for a total of 16 parking spaces required. The proposed site plan provides 9 passenger vehicle parking spaces. **The site plan appears to be deficient by 7 parking spaces relative to ordinance requirements.** Additionally, the parking space dimensions do not appear to be shown on the plans. Per the ordinance, parking spaces must provide a minimum area of 180 square feet. **Snow storage areas are also not identified in the plans.**

Section 3.17.D — Not Compliant

Refer to plan sheet C-7 for proposed landscaping plan and details.

Front Yard Landscaping: Based on approximately 250 feet of frontage along O'Rourke Boulevard and 100 feet along Dickerson Rd, the following are required and provided on the proposed plan.

<u>Required</u>	<u>Proposed</u>
• 5 canopy trees	4 canopy trees (Oak and Maple)
• 6 evergreen trees	cluster of existing evergreen trees along east side of lot to remain
• 6 ornamental trees	3 ornamental trees (Tulip and Crabapple)
• 20 shrubs	15 shrubs

In general, the proposed landscaping is short of the ordinance requirements, however the Planning Commission may consider flexibility based on the specific project.

Section 5.2.B — Applicability

As the project includes an expansion of a non-residential building which is proposed to increase by 50 percent or more of the size of the existing building, it requires a Level 2 Review, including Site Plan Review and Planning Commission approval.



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Phone: (616) 643-0810

Ms. Kimberly Awrey, July 7, 2026

Final Site Plan Review

Section 5.4.E.1 —Compliant

The site plan is dated 6/25/2026, includes the relevant contact information and identifies the other required general information, including the professional seal of Timothy Lapan, State of Michigan Licensed Professional Engineer.

Section 5.4.E.2 —Compliant

A north arrow and scale, legal description and parcel number, and vicinity map are all included in the submittal.

Section 5.4.E.3 —Compliant

All lot lines, dimensions, and setbacks are shown on the plans. Abutting streets, adjacent driveways, and related features are also included, along with the use of the existing driveway off O'Rourke Blvd.

Section 5.4.E.4 — See Discussion

1. Building dimensions are provided.
2. Elevation drawings are included.
3. Buildings/structures within 100 feet are adequately shown.
4. No accessory structures are shown.
5. Floor plans are provided for the proposed addition and existing building.
6. Parking layout is shown on sheet C-5. **Size of parking spaces is not included.**
7. Sidewalks are not proposed.
8. Grading is shown on sheet C-6. **It is unknown if new water and sanitary sewer services are required for the addition. Currently, they are not shown in the plans.**

Utilities Review:

Water: Plans should indicate whether existing services to the property will be utilized or if new services are required.

Sanitary Sewer: Plans should indicate whether existing services to the property will be utilized or if new services are required.

Stormwater: It appears that stormwater runoff from the proposed development will be conveyed via sheet flow to the existing catch basin within the O'Rourke Road right-of-way. **No information has been provided regarding the existing catch basin, including its outlet, receiving system, or available capacity. Additionally, no stormwater calculations were submitted, although it appears the proposed development will increase the amount of impervious surface on the site. The property owner is responsible for providing adequate stormwater management and demonstrating that the proposed improvements will not adversely impact adjacent properties or the public road right-of-way and meet the design requirements for a 10-yr, 24-hr storm event.**



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Phone: (616) 225-1944
Phone: (616) 643-0810

Ms. Kimberly Awrey, July 7, 2026

9. The exterior lighting and photometric plan is included on sheet C-8. LED wall pack fixtures are proposed on the new and existing buildings. The proposed fixtures appear to be such that they shield light from adjacent properties and roadways, which is required by the ordinance.
10. No screening walls or fences are proposed.
11. Refer to Section 3.17.D discussion in this letter.
12. **Snow storage areas are not shown on the plans.**
13. Loading space is not shown in the plans.
14. Hazardous materials are not mentioned in the submittal.
15. Unique features not applicable.
16. MDOT permit is not required.

Section 5.4.E.5 — See Discussion

1. No wetlands present.
2. Existing and proposed elevations are provided.
3. Stormwater drainage and design is addressed in Section 5.4.E.4.8 of this letter.
4. Existing vegetation to remain is shown on the siteplan.

Additional Comments

1. The plans should be provided to the Fire Chief for review and comment.
2. The utility plan has been shared with DPW, Water, and Wastewater staff. Any comments received should be forwarded to the Planning Commission and applicant.

Thank you for the opportunity to assist the City of Gaylord with this review. If you or the Planning Commission have any questions or require additional information, please feel free to contact me at 989-448-2626 or poyntera@lsengineering.com.

Sincerely,

Amanda Poynter, P.E.



July 29, 2026

City of Gaylord
Ms. Kimberly Awrey, City Manager
305 E. Main Street
Gaylord, Michigan 49735

Legend Bedliners & Accessories
Response to site plan review report

Section 4.9.C.3.f (and Section 3.18)

The existing building will not contain work bays. That space will now become warehouse for products, and the new building addition will contain the work bays. Parking spaces and calculations have been provided showing a total of 11 spaces needed and 11 spaces provided. Snow storage area has now been identified on the site plan as requested

Section 3.17.D

Landscaping has been updated to show the required number of proposed trees and shrubs

Section 5.4.E.4 – Discussion

Item #8

No new utility connections are required. The existing services and connections are adequate for the proposed addition.

Stormwater management has been updated to provide onsite stormwater detention to meet the intent of the ordinance and is identified on the site plan

Item #12

Snow storage has now been identified on the site plan

This concludes review response

Respectfully,

Todd L. Seidell, Architect

Gaylord
114 N. Court Ave., Ste 201
PO Box 2189
Gaylord, MI 49734

Gladwin
115 S. Arcade St.
PO Box 414
Gladwin, MI 48624

PH: 989-731-0372



Prepared For

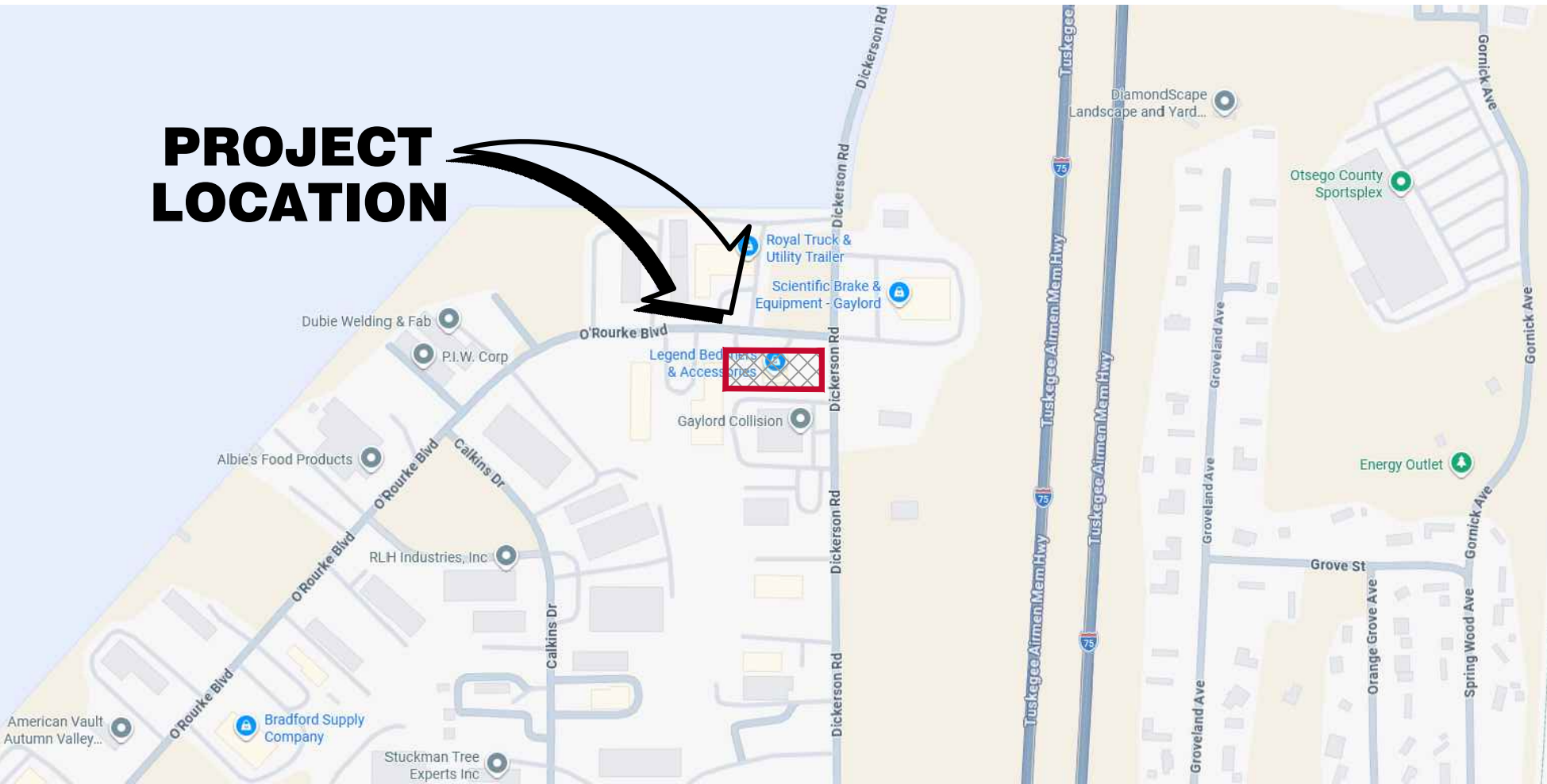


Section 8, T.30N., R.03W., City of Gaylord, Otsego County, Michigan

SITE ADDRESS: 1037 O'Rourke Blvd., Gaylord, MI 49735

Property Description:

LOT 45 GAYLORD AIR INDUSTRIAL PARK NO 1. SEC 8 T30N R3W.



PROJECT LOCATION

LOCATION MAP

N.T.S.



Sheet Index:

- C-1 Cover Sheet
- C-2 General Notes
- C-3 Topographic Survey
- C-4 Demolition Plan
- C-5 Site Plan
- C-6 Grading Plan
- C-7 Landscaping Plan
- C-8 Site Lighting & Photometrics
- N-1 Specifications
- N-2 Specifications



PROJECT NUMBER: P-202714	DRAWN BY: S.E. Bell	SCALE: N/A
ENGINEER: Timothy L. Lapham, P.E. 6201027593	DATE: June 25, 2026	SHEET C-1
REVISED: 07/29/26 revised per site plan review comments		
REVISED:		

Cover Sheet

1037 O'Rourke Blvd.
Gaylord, MI 49734

SEIDELL
ARCHITECTS

LAPHAM
ASSOCIATES

ENGINEERING
PLANNING
ENVIRONMENTAL
SURVEYING

116 South 3rd Street
West Branch, MI 48661

P (989) 345-5030
F (989) 345-7302

www.laphamassoc.com

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APPROVED USE FOR:

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☒ PERMIT/BID

☐ CONSTRUCTION

☐ FINAL RECORD

C-1

1. **SOIL EROSION:** The DEVELOPER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. **No earth changes or excavation shall be started prior to the issuance of this permit.** The DEVELOPER shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER at the cost of the DEVELOPER.
2. **FLOOD PLAIN OR WETLAND CONSTRUCTION:** The DEVELOPER shall apply to the Michigan Department of Environment Great Lakes and Energy (EGLE) for a permit for the alteration and/or occupation of a flood plain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval.
3. **NPDES STORM WATER DISCHARGE PERMIT:** The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from EGLE as required under Public Act 451. The notice of coverage form shall be submitted with the Soil Erosion Control permit application. All EGLE fees shall accompany the Notice of Coverage.
4. **CITY ROAD PERMIT:** The DEVELOPER shall obtain a permit from the City of Gaylord to perform work within the city Right-of-Way. All fees for the permit, bonds and insurances are the responsibility of the developer.
5. **MUNICIPALITY SANITARY SEWER AND WATER PERMIT:** Prior to the issuance of a building permit by the local municipality, the developer may be required to obtain a sanitary sewer and/or water tap-in permit from the owning municipality.
6. **STATE CONSTRUCTION PERMITS:** The water main construction permits, if required, from the Michigan Department of Environment Great Lakes and Energy shall be submitted to the EGLE after approval by the local municipality. Construction shall not begin until these state permits are issued.
7. **UTILITY WARNING:** Underground locations as shown on the plans were obtained from utility owners, and were not field located. A minimum of three (3) working days prior to beginning construction, the contractor shall notify "MISS DIG" (800-482-7171) and have all underground utilities staked before any work may begin. The contractor shall be responsible for the protection and/or relocation of all utilities that may interfere with construction. Three (3) Working Days Before You DIG - Call MISS DIG (1-800-482-7171).

1. The contractor shall be responsible to review and be familiar with all portions of these plans. Any discrepancies between different portions of the plans shall be brought to the attention of the Engineer and shall be resolved prior to construction.

BENCHMARKS

Benchmark #1

Large "PK" Nail in light pole on north side of O'Rourke Road at west end of property.

Elev. 1328.75 NAVD 88

Benchmark #2

Southwest corner of concrete planter box in boulevard at entrance to Dickerson Road.

Elev. 1330.41 NAVD 88

NRCS SOILS MAP



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
147B	Lindquist sand, 0 to 6 percent slopes	0.5	100.0%
Totals for Area of Interest		0.5	100.0%

PLAN LEGEND

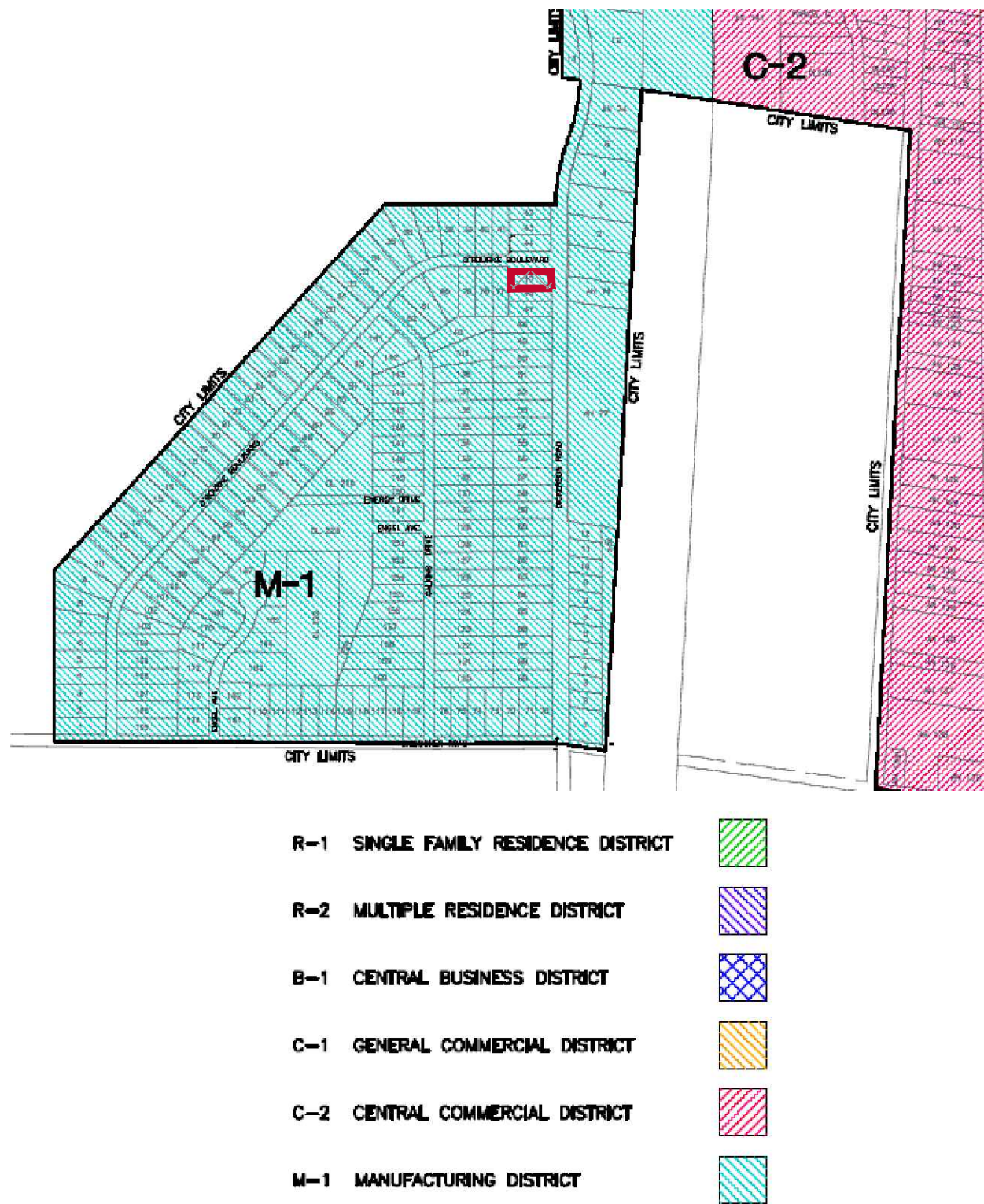
—O-ELECT.—	= OVERHEAD ELECTRIC LINE
—GAS—GAS—	= BURIED GAS LINE
—SAN—SAN—	= SANITARY SEWER
—WATER—	= WATER MAIN
—U.G. TELE.—	= UNDERGROUND TELEPHONE
⊙	= SANITARY MANHOLE
⊕	= STORM MANHOLE
⊗	= CATCH BASIN
⊠	= CURB INLET
⊙	= FIRE HYDRANT
⊕	= WATER VALVE
⊗	= LIGHT POLE
⊕	= STREET SIGN
⊗	= FENCE LINE
⊕	= UTILITY POLE
⊗	= BITUMINOUS PAVING
⊕	= CONCRETE PAVING OR WALKWAY
⊗	= PLS SYSTEM CORNER
⊕	= PROPOSED LIGHT POLE
⊗	= EXISTING WELL

ABBREVIATIONS

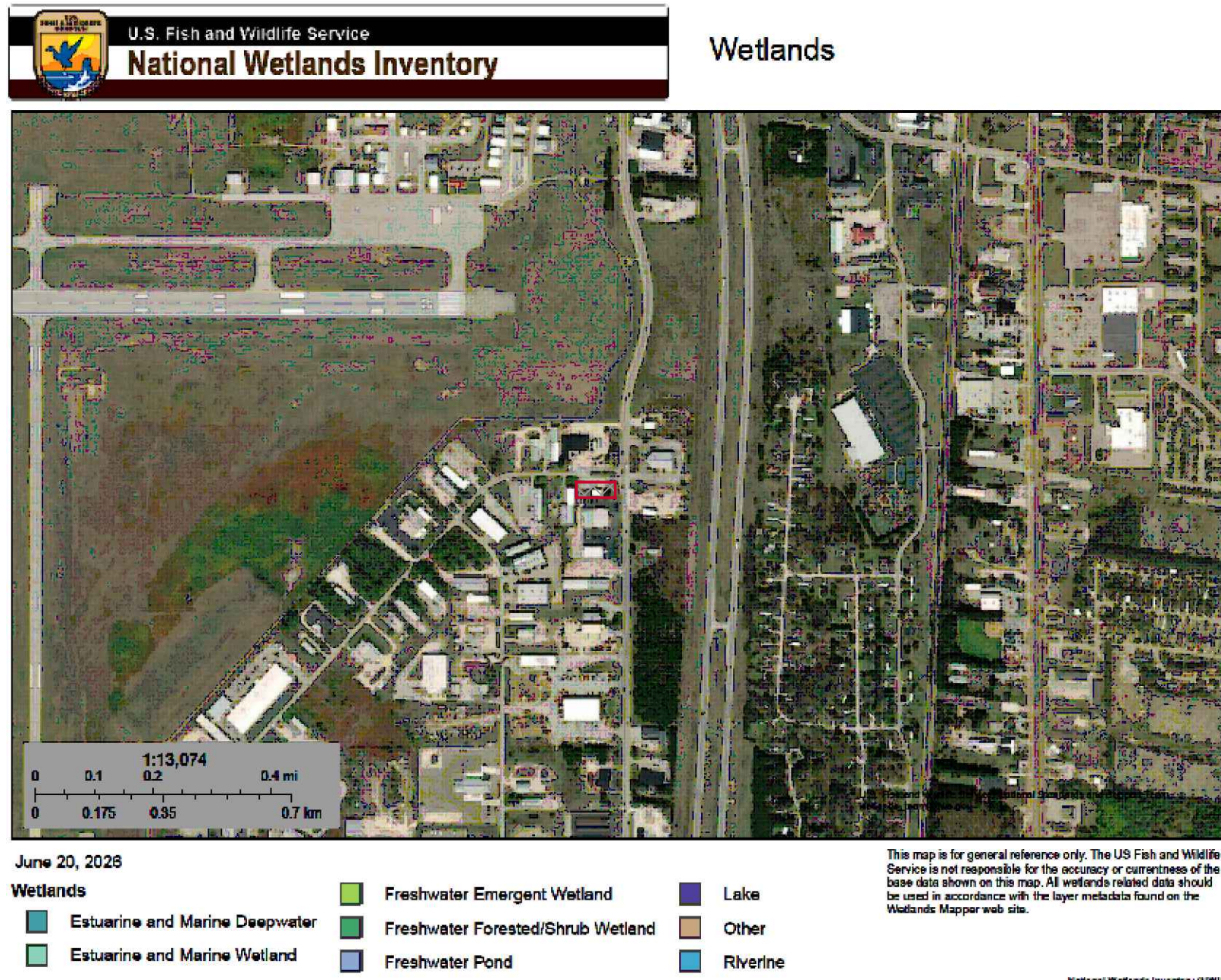
LIST OF ABBREVIATIONS

	Definitions
A.C.	Alternating Current
A.F.C.	Adult Foster Care
ASPH.	Asphalt Paving
ASTM	American Society of Testing Materials
AWS	American Welding Society
AWWA	American Waterworks Association
BLDG.	Building
CIP	Compacted in place
CL	Class
CONC.	Concrete
C.Yd. or CYD	Cubic Yard
DR	Dimension Ratio
°	Degrees
EA	Each
EJ	East Jordan Iron Works
ELEV.	Elevation
EX	Existing
F.F.	Finish Floor
G.P.M.	Gallons Per Minute
I.D.	Inside Diameter
Inv.	Invert
Lbs.	Pounds
LFT	Lineal Feet
L.S.	Lump Sum
Max.	Maximum
MDOT	Michigan Department of Transportation
MH	Manhole
Mil.	Millimeter
Min.	Minimum
MUW	Maximum Unit Weight at optimum moisture content
No.	Number
NSF	National Sanitation Foundation
OSHA	Occupational Safety Health Administration
PSIGP	Pounds per square inch gauge
PVC	Polyvinyl Chloride
R.O.W. or R/W	Right-of-Way
RAD.	Radius
SDR	Standard Dimension Ratio
SYD	Square Yard
T.D.H.	Total Dynamic Head
V.L.F.	Vertical Lineal Feet
'	Minutes of angles or Feet
"	Seconds of angles or Inches
%	Percent
#	Pounds

ZONING MAP



FWS Wetland Map



General Notes



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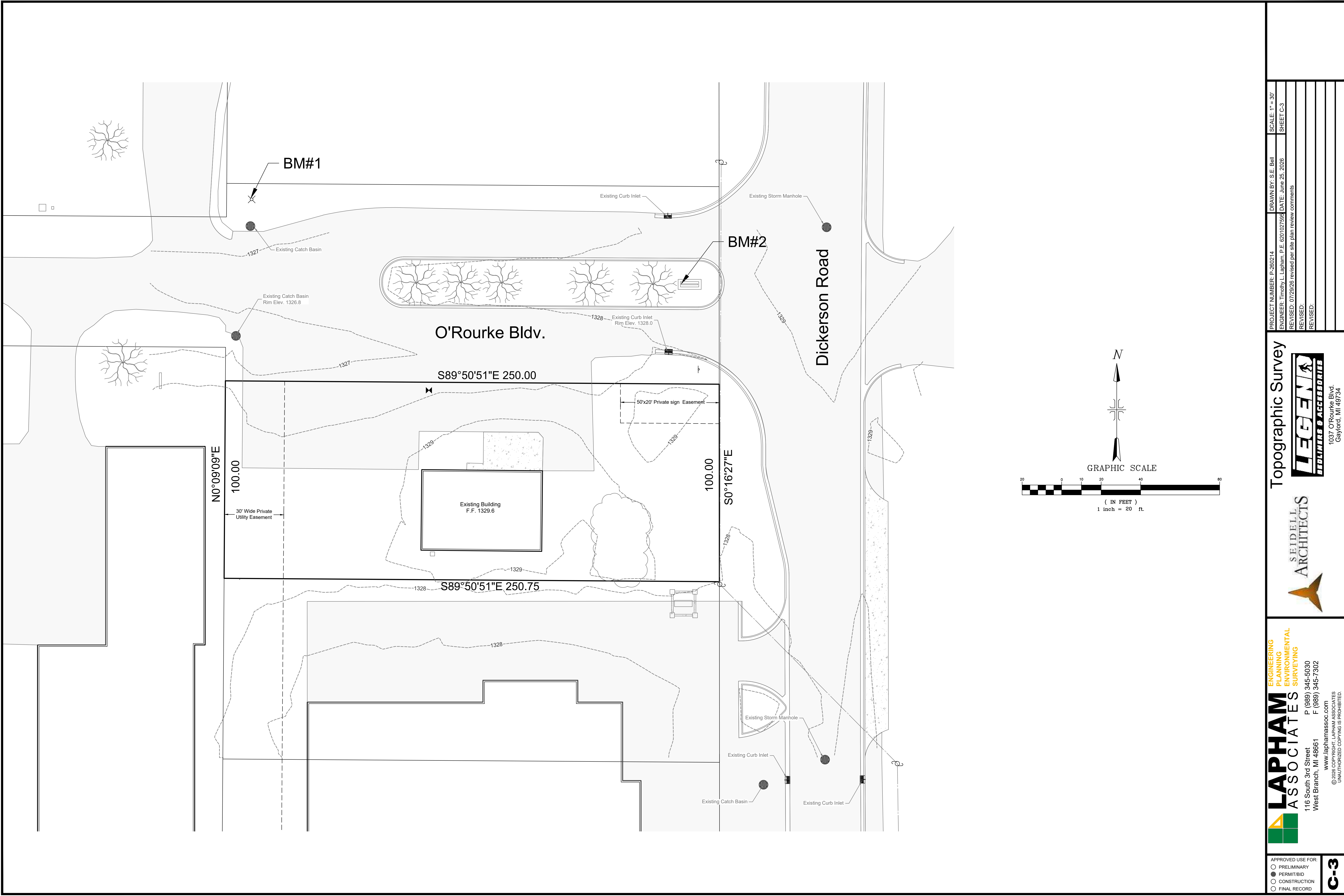
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C-2



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○ FINAL RECORD

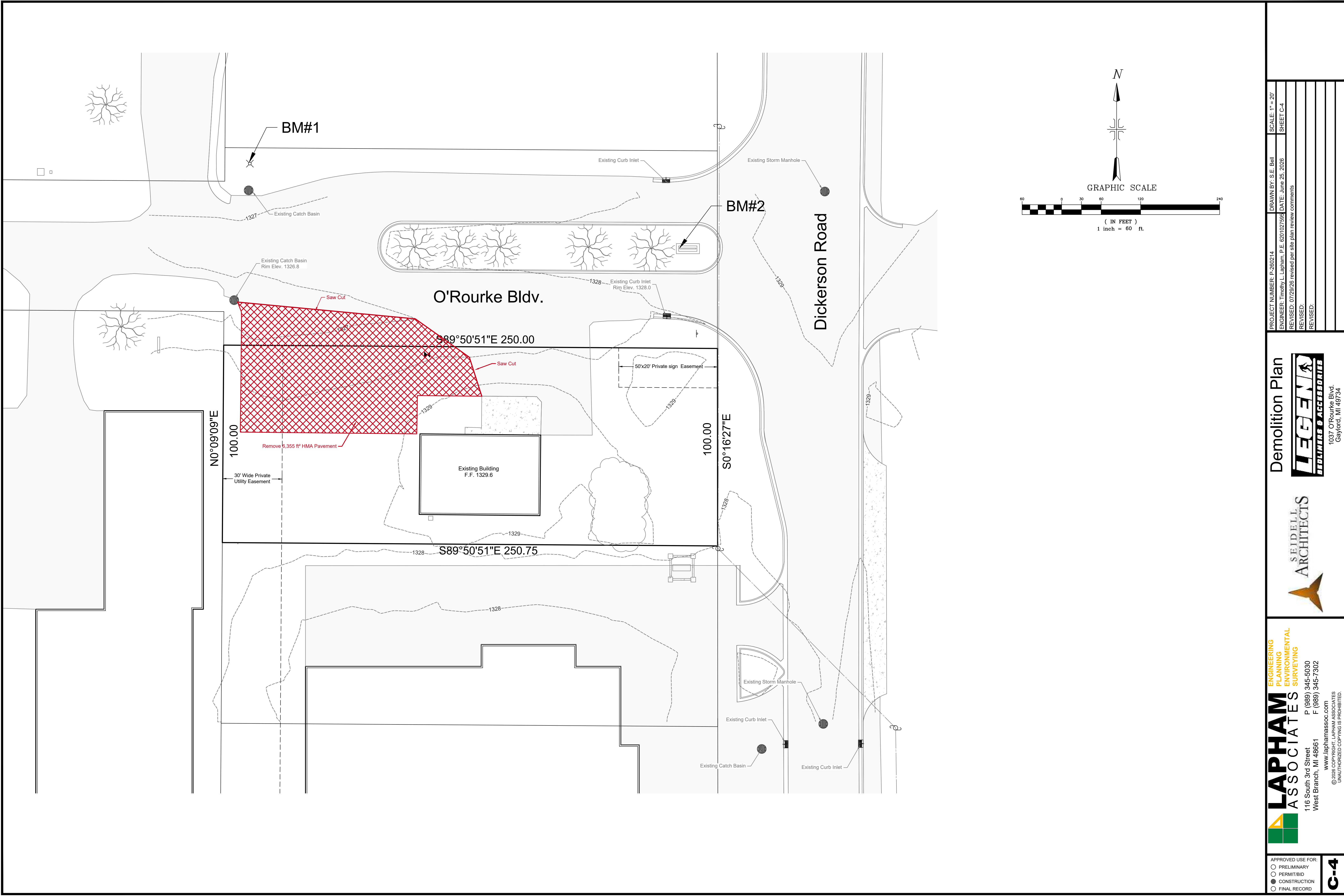
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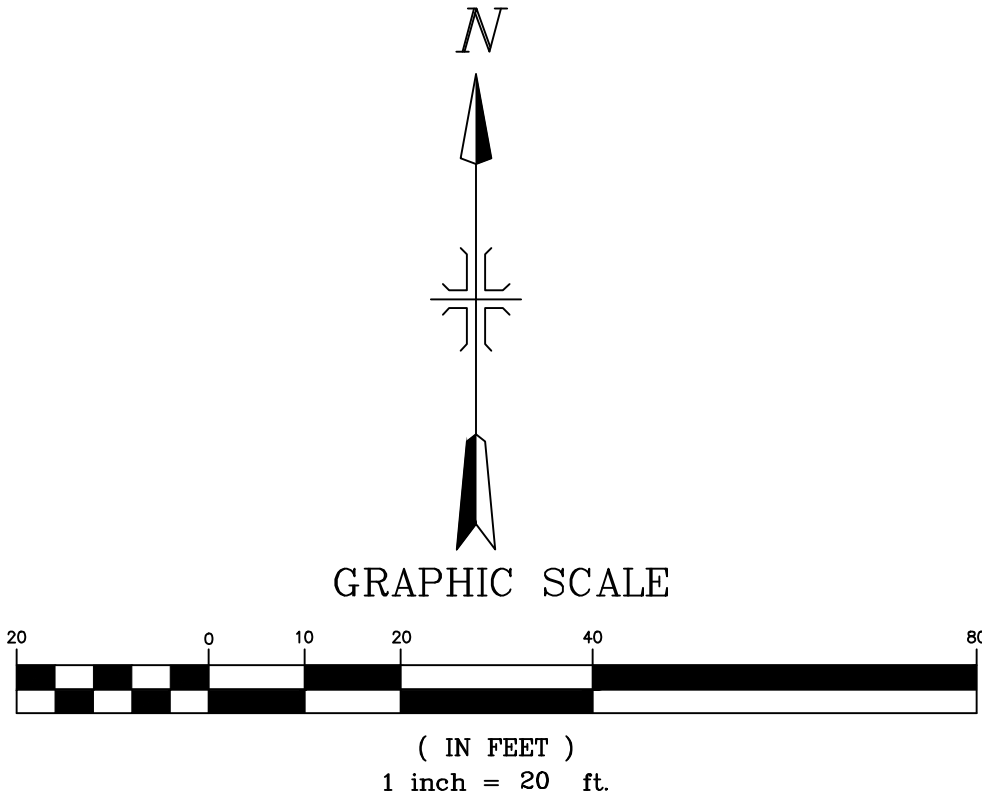
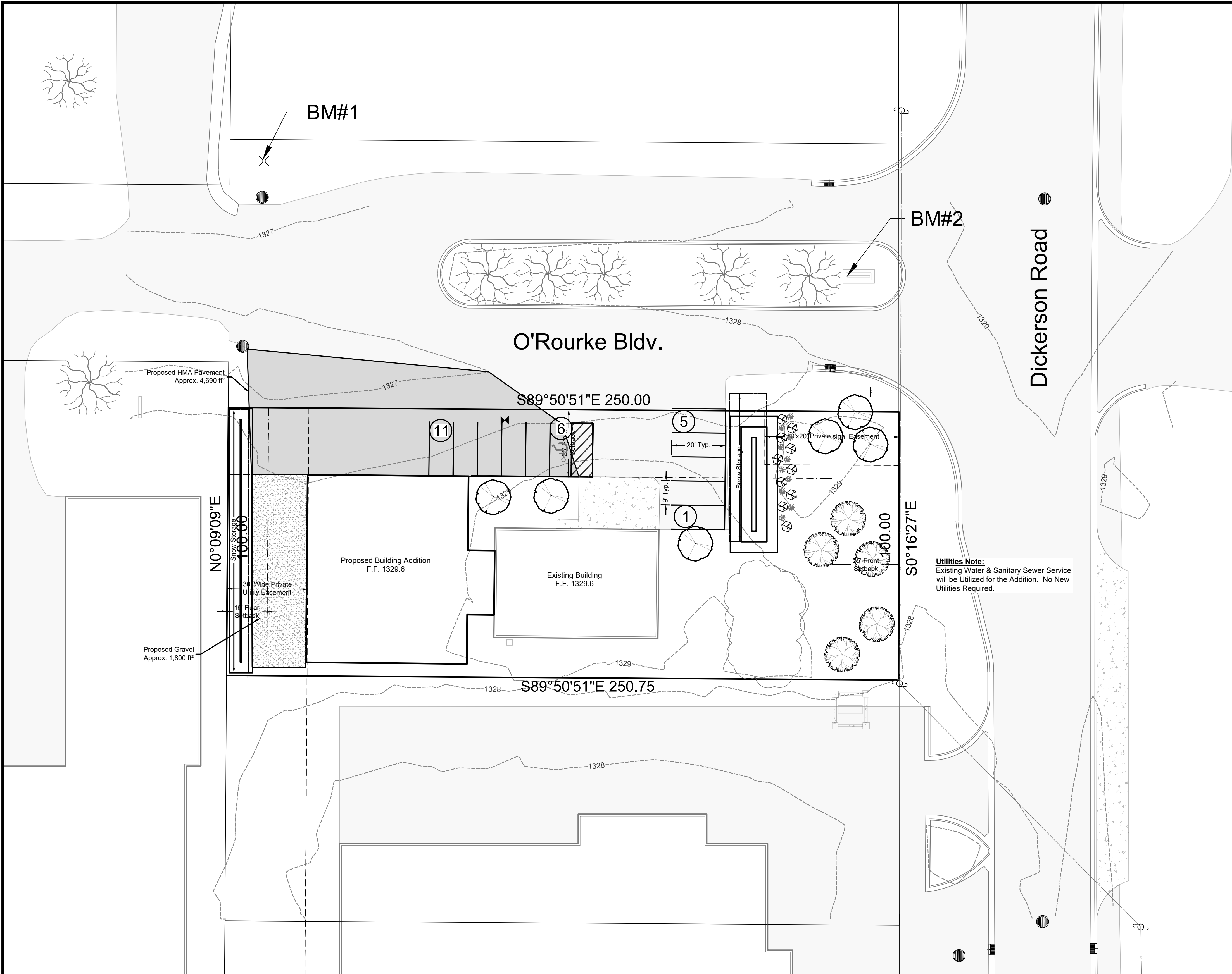
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SEIDELL ARCHITECTS

Topographic Survey
LEGEND
BOUNDARIES & ACCESSORIES
1037 O'Rourke Blvd.
Gaylord, MI 49734

PROJECT NUMBER: P-260214	DRAWN BY: S.E. Bell	SCALE: 1" = 30'
ENGINEER: Timothy L. Lapham, P.E. 6201027593	DATE: June 25, 2026	SHEET C-3
REVISED: 07/29/26 revised per site plan review comments		
REVISED:		





Site Plan Notes:

- These plans and specifications are subject to modification during construction when conditions develop that were not apparent during the design and preparation of these plans. All modifications must be approved by local jurisdiction prior to construction and/or implementation.
- In the event of any discrepancy between any drawing and the figures written thereon, the figures shall be taken as correct.
- Should it appear that the work to be done or any matter relative thereto is not sufficiently detailed or explained on these plans, the contractor shall contact the engineer for such further explanations as may be necessary.
- Before commencement of work, the contractor shall review all plans and specifications and the job site. The contractor shall notify the owner and the engineer of any discrepancies that may require modification to these plans or of any field conflicts.
- Contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
- Contractor shall obtain all necessary permits prior to commencing construction involving right-of-ways, and for the construction, modification, or connection to facilities. All workmanship, equipment and materials shall conform to local jurisdiction standards and specifications.
- Where soil or geologic conditions encountered in grading operations are different from those generally anticipated, or where conditions warrant changes to the recommendations contained therein, a report of soil or geologic conditions shall be submitted along with proposed changes for approval and shall be accompanied by an engineer's opinion as to the safety of the site from the possibility of land slippage, settlement and seismic activity.
- Meet all current applicable ADA requirements for parking, signage, ramps, sidewalks, and warning notification on sidewalks approaching drives as required.

Zoning Notes:

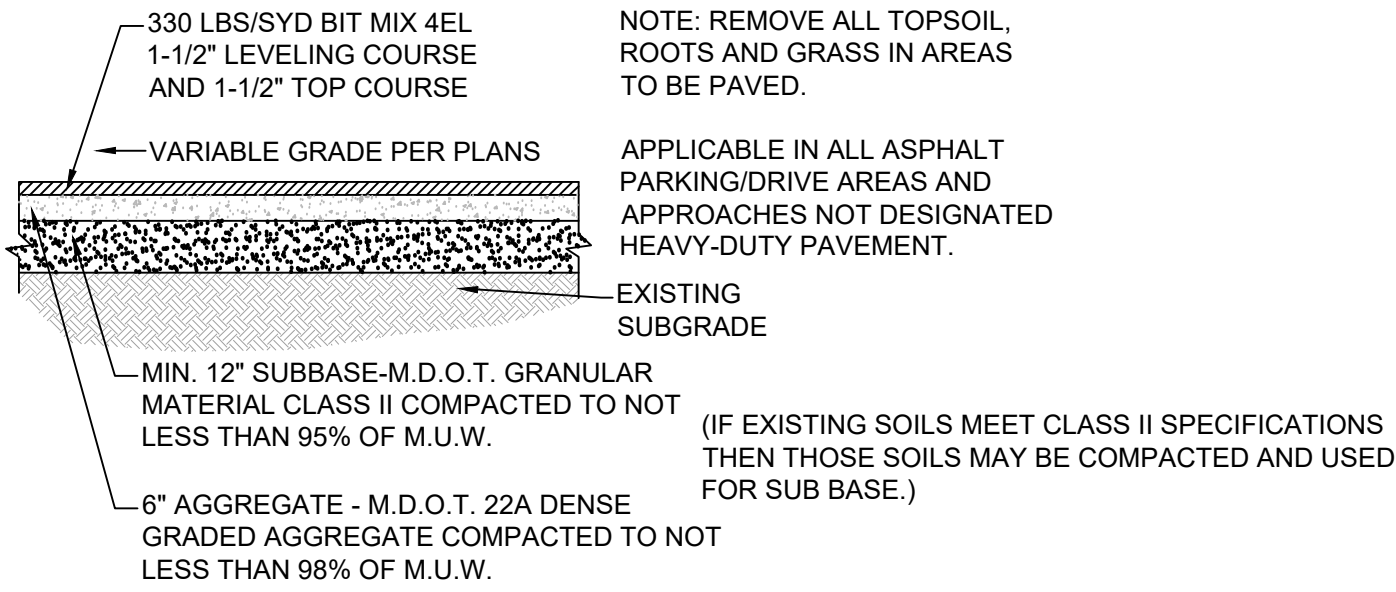
Developer:	R.G.B. Properties LLC	
Use:	Repair Shops, Large Items allowed by right Sec. 4.8 (B)	
Zoning:	C-2 "Central Commercial District"	
Setbacks:	Front Setback	Not required
	Side Setback	5' where adjacent to residential
	Rear Setback	5' or 25' where adjacent residential
Tax Parcel #	103-150-000-045-00	

Parking Calculations:

Per Table 3.18 for Automobile Repair Garages or Gas Stations: 2 spaces for each auto repair service bay; plus 1 space for each gas pump; plus 1 space for each employee on maximum working shift.

2 work bays @ 2 spaces per bay	4 spaces
Maximum shift employee count 4 @ 1 space per employee	4 spaces
TOTAL REQUIRED	8 Spaces

PROVIDED SPACES 11 Spaces



1 BITUMINOUS PAVEMENT DETAIL
C-5 SCALE: NONE

PROJECT NUMBER: P-260214
ENGINEER: Timothy L. Lapham, P.E. 6201027693
REVISION: 07/29/26 revised per site plan review comments
DRAWN BY: S.E. Bell
SCALE: 1" = 30'
SHEET C-5

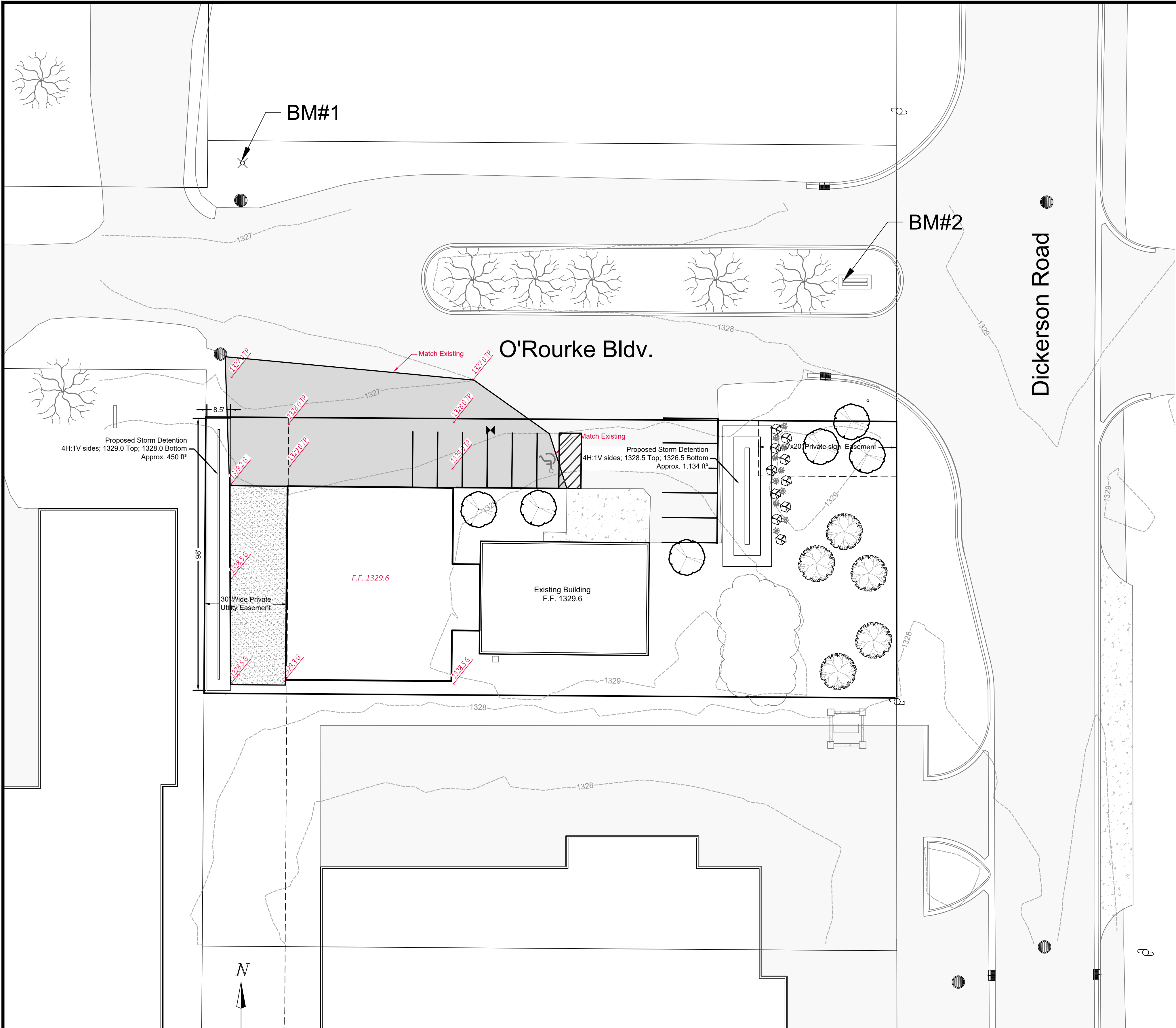
Site Plan

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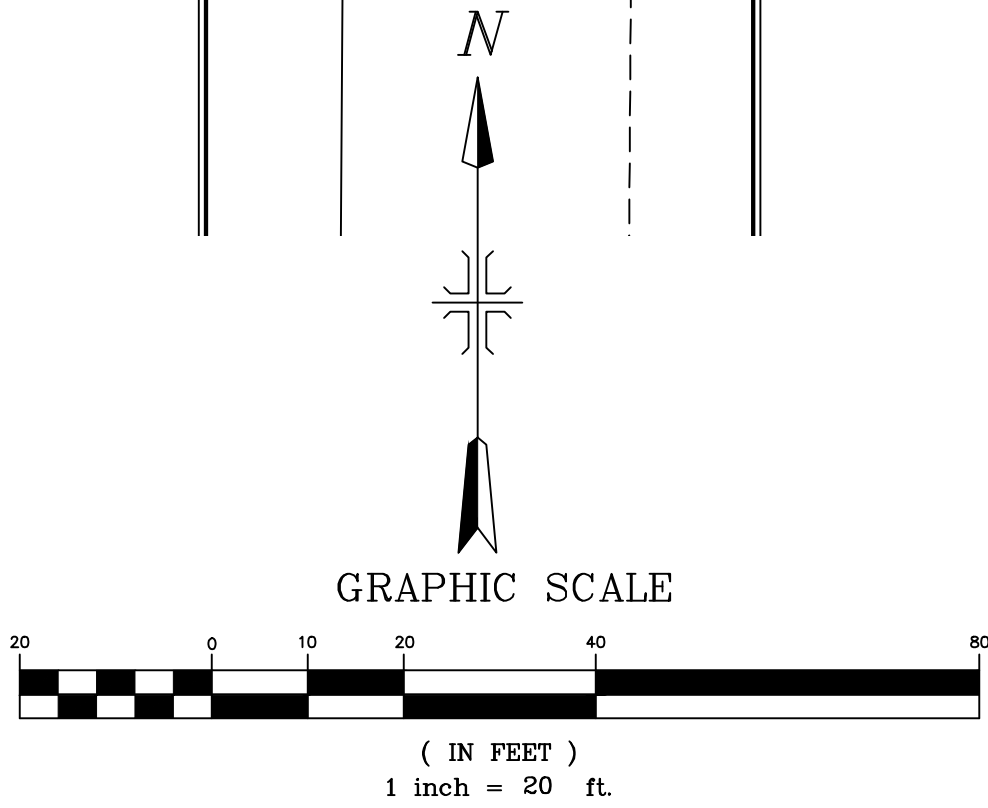
C-5



Grading Notes:

- The forms for concrete sidewalks, curbs, gutters, and driveways that are to be constructed to conform to existing roads shall be installed to the grades shown on these plans. Prior to placing concrete, the forms shall be inspected and approved by local jurisdiction for conformance to existing road improvements. Grades of new improvements are subject to field adjustment to fit conditions.
- The contractor shall be responsible for matching existing facilities to avoid any abrupt or apparent changes in grades or cross slopes, low spots, or hazardous conditions.
- All grading, back filling, excavation, etc., shall be in accordance with the specification or normal practice if not specified.
- Where unstable or unsuitable materials are encountered during subgrade preparation, the area in question shall be over excavated and replaced with engineered backfill material.
- If requested, a representative of the engineer shall be on the site during grading operations and shall observe the construction and identify any conditions that should be corrected and recommend corrective measures to the contractor.
- All grading, erosion, and sediment control and related work undertaken on this site shall be in accordance with local jurisdiction.
- The contractor shall not disturb any permanent survey points without the consent of local jurisdiction. Any points destroyed shall be replaced by a licensed surveyor at the contractor's expense.
- Grading at the boundaries shall be done so as not to obstruct the runoff of storm waters from adjacent properties.
- All disturbed areas shall be topsoiled, seeded, fertilized and mulched.
- Contractor to maintain all soil erosion control measures. Surrounding paved areas shall be power broomed as necessary to remove mud tracking from the site.
- Contractor shall obtain soil erosion permit prior to any construction.
- All structures, sidewalks, curbs and asphalt shall have a minimum of 12" of clean granular material (MDOT Class II) as a sub-base and compacted to 95% maximum unit density. If pumping or yielding is caused by the compactive efforts, the sand layer shall be increased until density can be obtained without pumping water through the subgrade.

NRCS TR-55 RUNOFF METHOD		10-year storm
$A_1 = 20000 \text{ ft}^2$	contributing area	
$A_1 = 0.46 \text{ acres}$	contributing area	
$CN = 81$	weighted curve number	
$S = 2.35 \text{ in}$	maximum basin retention	
$Q = 1.53 \text{ in}$	runoff depth	
$I_a = 0.47 \text{ in}$	initial abstraction	
$I_a/P = 0.14$	value	
$C_1 = 2.53665$	TR-55 coefficient Table F-1	
$C_1 = -0.61661$	TR-55 coefficient Table F-1	
$C_2 = -0.15454$	TR-55 coefficient Table F-1	
$t_c = 10.00 \text{ min}$	time of concentration	
$t_c = 0.17 \text{ hr}$	time of concentration	
$A_{10} = 0.0007 \text{ mi}^2$	contributing area	
$q_p = 835.39 \text{ ft}^3/\text{sec}/\text{mi}^2/\text{in}$	unit peak flow	
$q_p = 0.92 \text{ ft}^3/\text{sec}$	peak flow	
$q_p/\text{acre} = 0.00 \text{ ft}^3/\text{sec}/\text{acre}$	allowable peak discharge from site per acre	
$q_a = 0.00 \text{ ft}^3/\text{sec}$	allowable peak discharge from site	
$q_a = 0.00 \text{ ft}^3/\text{sec}$	actual peak discharge from site	
$I = 0.00 \text{ in/hr}$	infiltration rate	
$A_b = 0 \text{ ft}^2$	area of basin	
$q_i = 0.00 \text{ ft}^3/\text{sec}$	infiltration discharge rate	
$q_t = 0.00 \text{ ft}^3/\text{sec}$	total peak discharge from basin	
$q_p/q_a = 0.00$	peak flow ratio	
$BRF = 0.68$	basin routing factor	



LEGEND:

- SW - SWALE GRADE
- TP - TOP OF PAVEMENT
- TC - TOP OF CONCRETE
- TG - TOP OF GRAVEL
- GP - GUTTER PAN
- FF - FINISH FLOOR
- G - GROUND
- RIM - RIM ELEVATION
- INV - INVERT ELEVATION
- ELEVATION AT LOCATION
- DIRECTION OF SURFACE FLOW

Grading Plan

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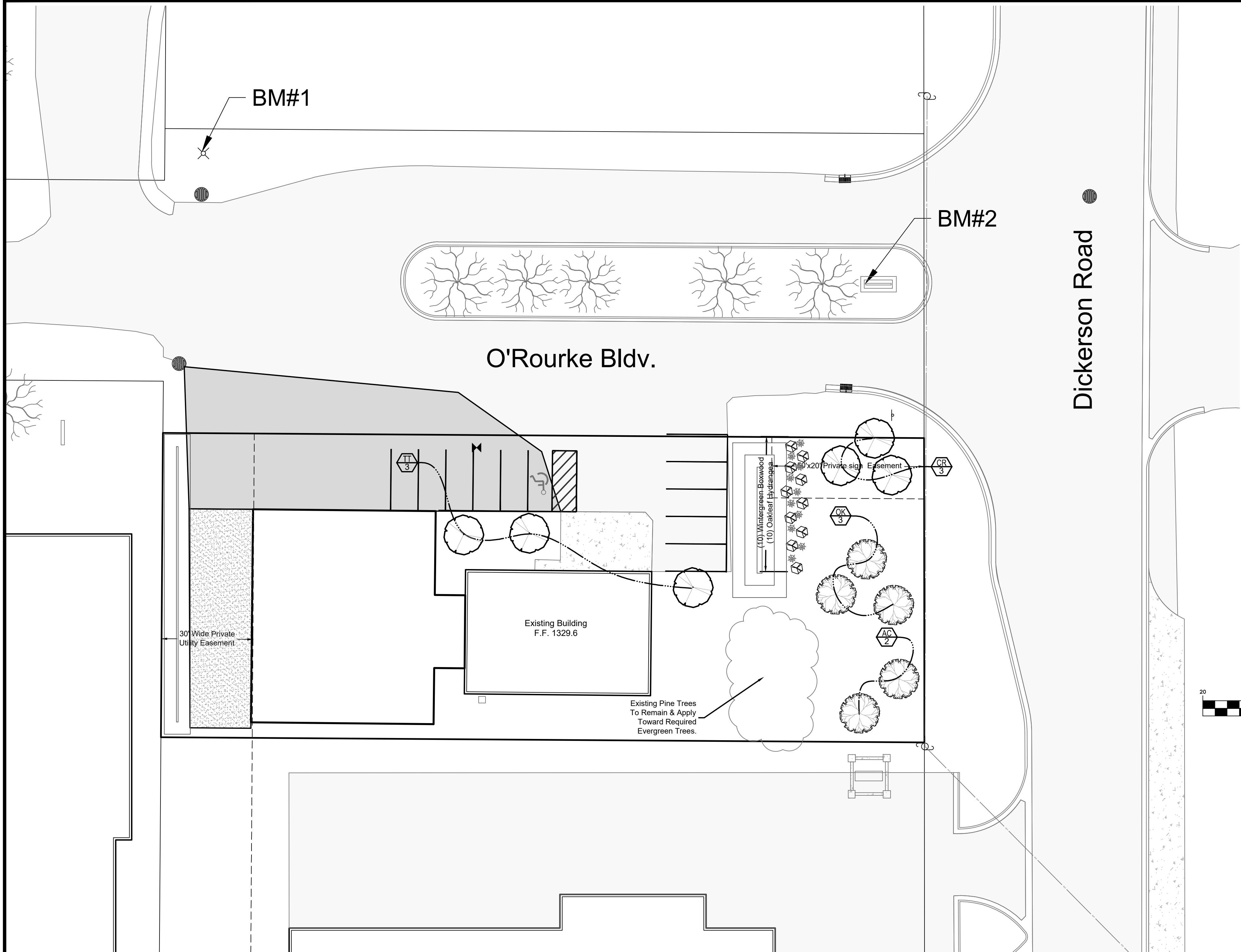
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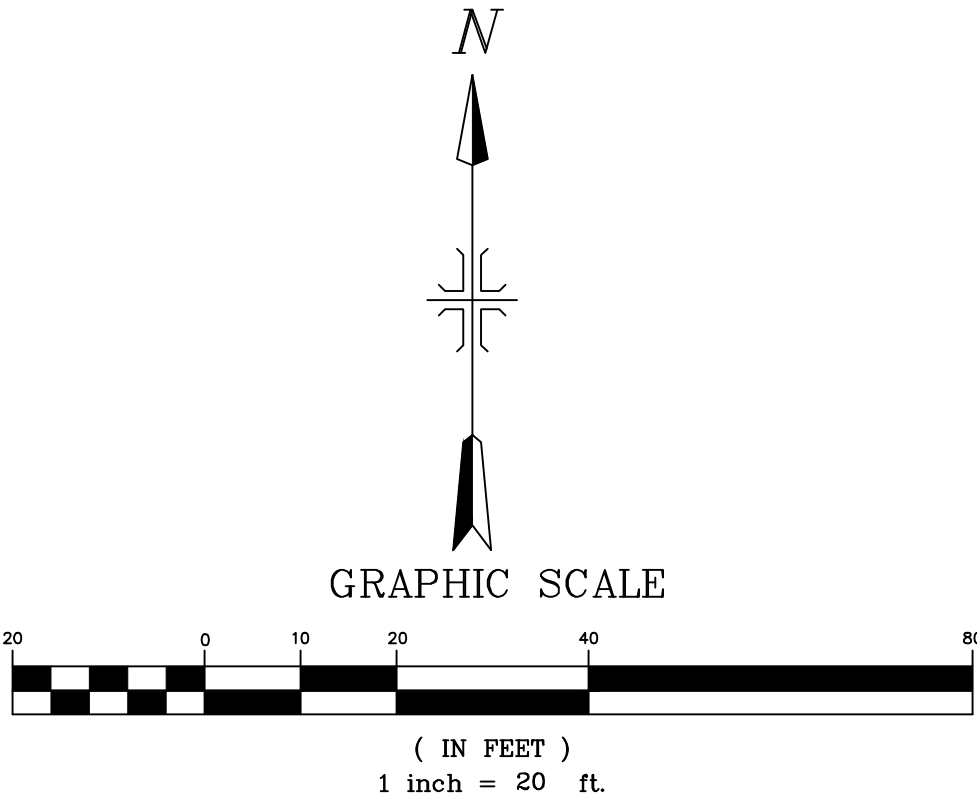
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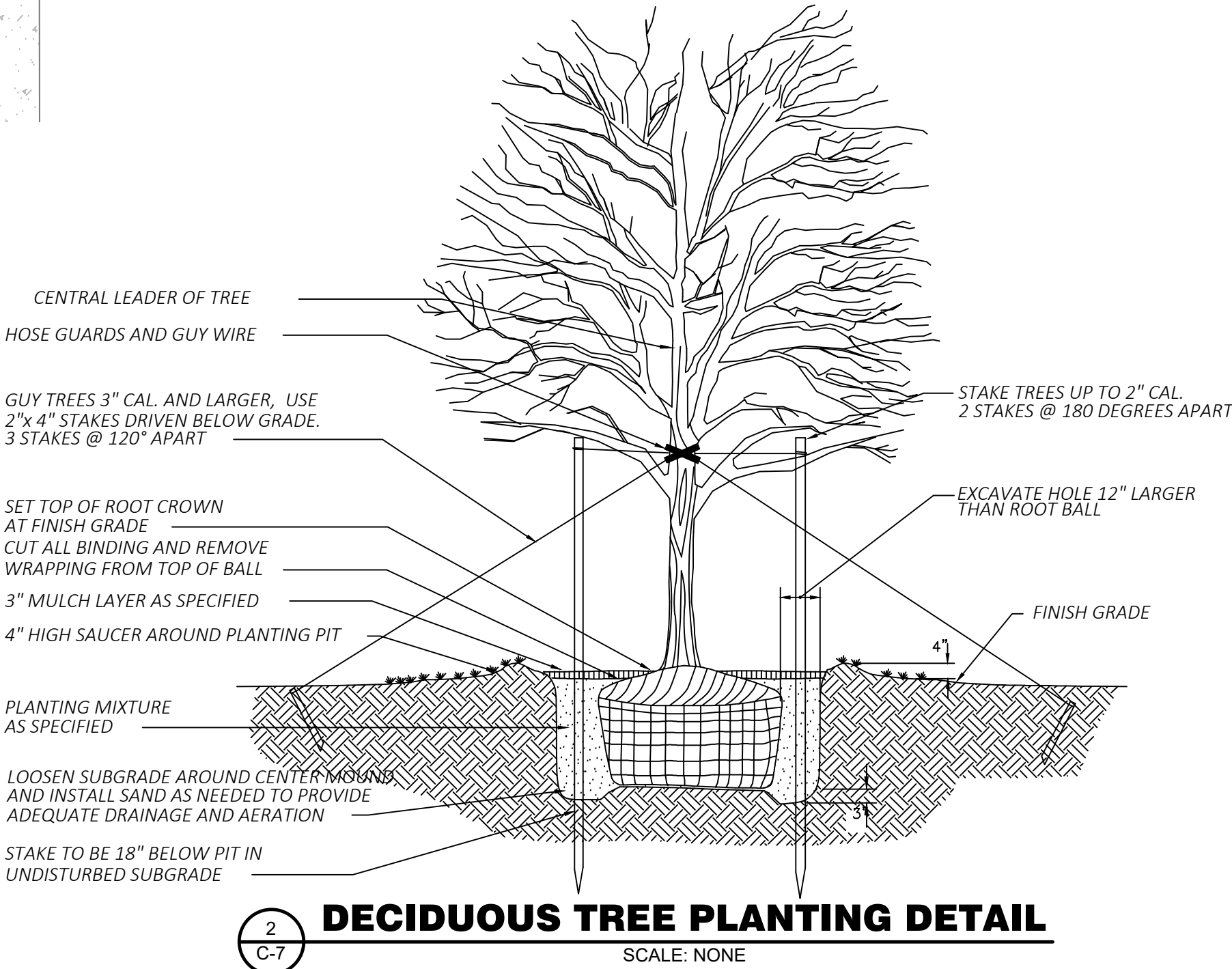
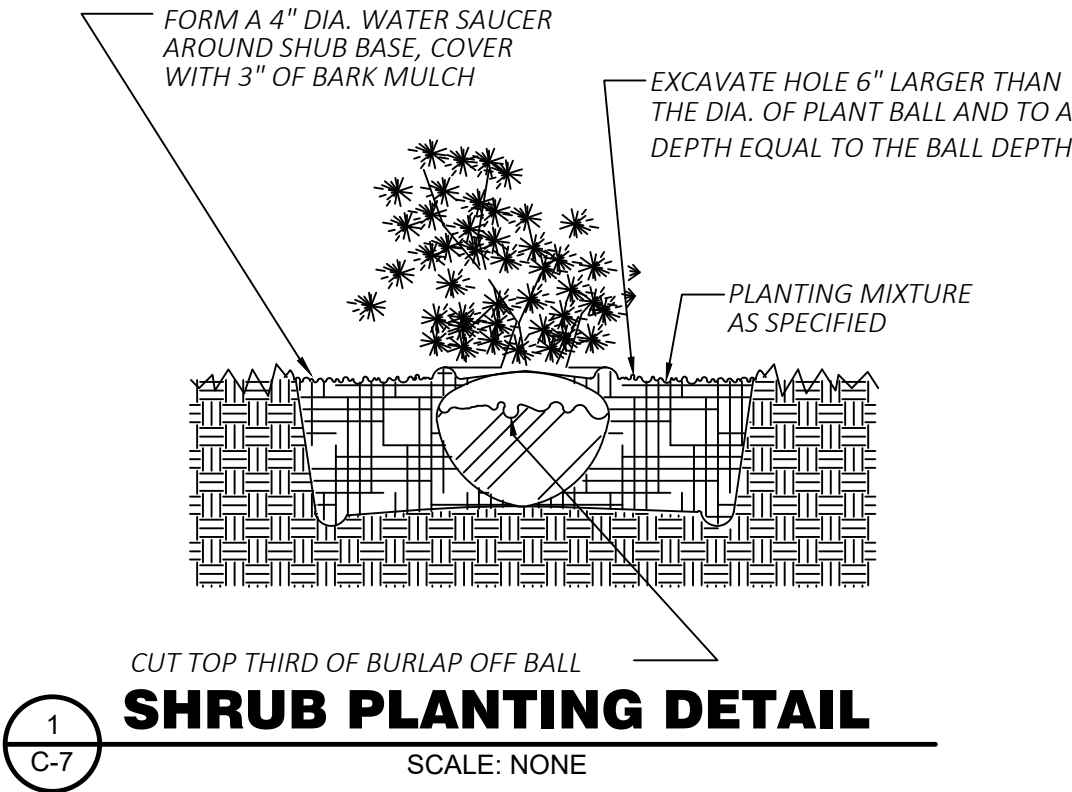
Landscaping Notes:

- Landscaping contractor shall verify the locations of all underground utilities prior to construction. Contact miss dig a minimum of 3 working days prior to commencing work. (800) 482-7171
- Landscaping contractor to confirm and provide all quantities and varieties of plants & other landscaping materials with bid. All plant substitutions shall be approved by the engineer.
- Precautions shall be taken to preserve existing vegetation as reasonably practical. New trees indicated on the drawing may be omitted if existing trees are located in a reasonable proximity to the indicated new locations. All existing trees to remain shall be of sound health.
- Landscape contractor shall finish grade and clean topsoil of large stones, branches, and debris, and fill and compact holes in seeded & sod areas. Grading contractor is responsible to replace topsoil and rough grade areas as necessary.
- All proposed lawn areas and other areas that were disturbed by construction shall receive a minimum of 4 inches of topsoil and a lawn seed mix base indicated.
- Landscape contractor shall fill plant beds with 6" of a planting soil mixture of 25% existing soil, 50% topsoil & 25% peat moss, with further amendments according to specifications.
- Planting shall be edged with 4" plastic or metal edging as indicated where necessary and staked in place every 2-4 feet.
- All plant and tree beds to be mulched with 3" of hardwood bark chips, except where indicated, all trees and shrubs to have positive drainage.
- The contractor will be responsible to replace all trees damaged by his negligence or actions. Prune all dead and broken branches from all plants immediately after installation.
- Required landscaping material shall satisfy American Assoc. of Nurserymen standards and be:
 - A. Nursery grown
 - B. State department of agriculture inspected
 - C. No. 1 grade with straight unscarred trunks and well developed uniform crown
 - D. Guaranteed for (1) year
- Landscaping shall not hide the building after several years of growth.
- Contractor shall strip, save and replace the topsoil on the site. Soils need to be tested and amended as necessary.
- Landscape fabric shall be commercial grade or approved equivalent.
- All landscaped areas shall be equipped with underground irrigation systems.



Landscaping Schedule:

QUAN.	SYM.	COMMON (BOTANICAL) NAME	SIZE
3	OK	Oak (<i>Quercus spp.</i>)	2" Cal.
1	AC	Amur Maple(<i>Acer ginnala</i>)	2" Cal.
2	CR	Red Flowering Crabapple(<i>Mallus sp.</i>)	1-1/2" Cal.
1	TT	Tulip Tree (<i>Liniodendron tulipifera</i>)	1-1/2" Cal.
10	WB	Wintergreen Boxwood (<i>Buxus microphylla 'wintregreen'</i>)	18-24" High
10	HY	Oakleaf Hydrangea (<i>Hydrangea 'quercifolia'</i>)	2-3' High



Landscaping Plan

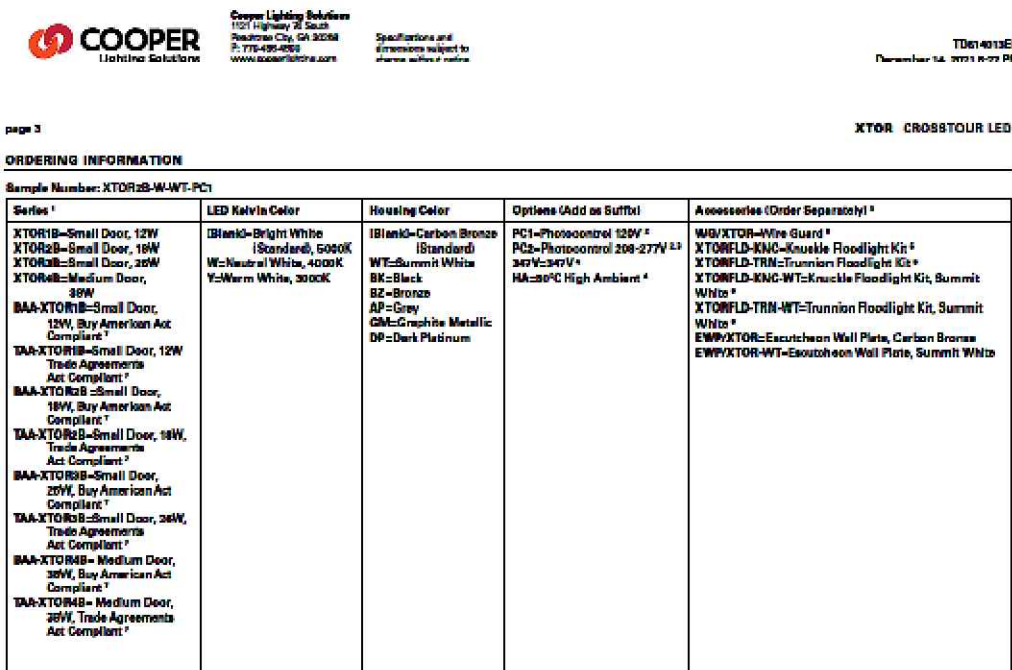
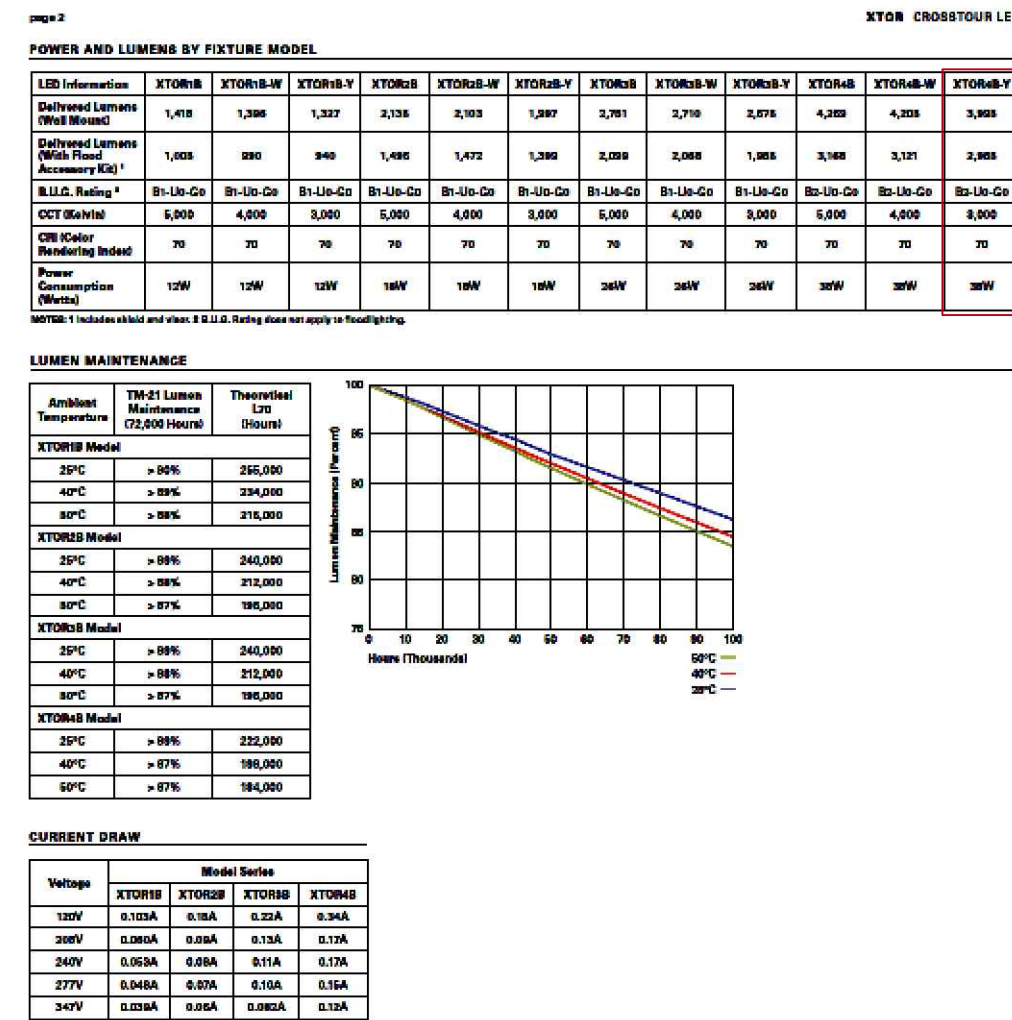
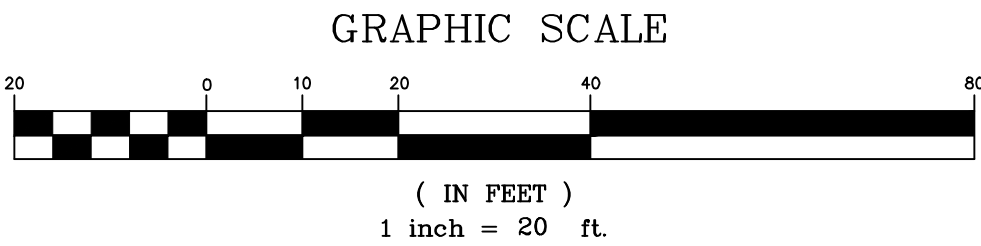


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NOTE: Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1981 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to **DOMESTIC DISPOSITIONS** website for more information. Components utilized separately may be separately analyzed under domestic preference requirements.

COOPER
 Lighting Solutions

Cooper Lighting Solutions
 1921 Highway 38 South
 Redwood City, CA 94061
 P: 770-495-4900
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

TD140367
 December 14, 2021 8:27 PM

LEGEND
BEDLINERS & ACCESSORIES



SEIDELL
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CONCRETE FORMING DIVISION 03 10 00 PART 1 GENERAL 1.01 Scope: A. Provide, install and remove all concrete formwork and accessories necessary for concrete construction as indicated on the drawings and specified herein. 1.02 Related Work Specified Elsewhere: A. Concrete Reinforcement -DIVISION 03 20 00 B. Cast-in-place Concrete -DIVISION 03 30 00 1.03 Referenced Standards: A. ACI, "ACI Manual of Concrete Practice" B. American Plywood Association, "Plywood for Concrete Forming" C. American Institute of Timber Construction, "Timber Construction Manual" D. National Forest Products Association, "Design of Wood Formwork for Concrete Structures" 1.04 Design: A. The Design and Engineering of Concrete Formwork shall be the responsibility of the Contractor. PART 2 PRODUCTS 2.01 Form Materials: A. Forms shall be either metal free of irregularities, dents, and/or sags; or plywood made specifically for concrete form use complying with APA "Plywood for Concrete Forming." 2.02 Coatings and Release Agents: A. Steel Forms: Colorless mineral oil which will not stain concrete. 2.03 Accessories: A. Form ties and spreaders shall be removable or snap-off commercially manufactured metal with cone ends leaving no metal exposed within 1" of finished face of concrete and causing no surface disfiguration greater than 3/4" in diameter. PART 3 EXECUTION 3.01 General Requirements: A. Design, install, and remove Concrete Formwork specified herein in strict accordance with the Referenced Standards. 3.03 Supplemental Requirements: A. Attach, as required elsewhere in the Construction Documents or as required to properly interface Concrete Work with the Work of other trades, all required accessories, anchor bolts, hangers, sleeves, slots and/or inserts. B. Unless indicated otherwise on the Drawings, provide 3/4" chamfer strips at all outside corners of exposed Cast-in-Place Concrete. C. Earth cuts may be used as forms where concrete is not to be exposed or to receive waterproofing. D. Formwork shall be constructed to the shape, line, and dimension as required by the plans. Do not scale off plans. Construction is to be according to written dimensions. E. Forms shall be sufficiently tight to prevent leakage of concrete and shall be properly braced and tied together to maintain position and shape during concrete placement. END OF SECTION CONCRETE REINFORCEMENT DIVISION 03 20 00 PART 1 GENERAL 1.01 Scope: A. Provide and install all concrete reinforcement and accessories, complete, as indicated on the drawings and specified herein. 1.02 Related Work Specified Elsewhere: A. Concrete Forming -DIVISION 03 10 00 B. Cast-in-Place Concrete -DIVISION 03 30 00 1.03 Referenced Standards: A. ACE "ACI Manual of Concrete Practice" B. ASTM A185, "Welded Steel Wire Fabric for Concrete Reinforcement" C. ASTM A615, "Specifications for Pre formed and Plain Built-Steel Bars for Concrete Reinforcement" 1.04 Storage of Materials: A. Materials shall be stored so as not to deteriorate due to excessive rusting or become contaminated by foreign substances. PART 2 PRODUCTS 2.10 Bar Reinforcement: A. Shall comply with ASTM A615, grade 60 billet steel deformed bars, uncoated finish. 2.02 Welded Wire Fabric: A. Shall conform to ASTM A185, plain type. 2.03 Accessories: A. Tie Wire: Annealed steel, 16-gauge minimum. B. Reinforcement Supports: Galvanized steel bolster, chairs and supports with plastic coating where in contact with formwork.	PART 3 EXECUTION 3.01 General Requirements: A. Design, fabricate and place Concrete Reinforcement specified herein in strict accordance with Referenced Standards. 3.02 Supplemental Requirements: A. Unless indicated otherwise on the Drawings, maintain a minimum 3" clearance between all reinforcement specified and the outside face of the concrete enclosing the reinforcement through the use of concrete bricks and galvanized reinforcement bars anchored into adjacent earth where earth cut forms are utilized and through the use of prefabricated chairs and spreaders with vinyl coated feet where concrete formwork utilized. END OF SECTION CAST-IN-PLACE CONCRETE DIVISION 03 30 00 PART 1 GENERAL 1.01 Scope: A. Provide, place, patch, cure and finish all concrete as indicated on the Drawings and specified herein. 1.02 Related Work Specified Elsewhere: A. Concrete Forming -DIVISION 03 10 00 B. Concrete Reinforcement -DIVISION 03 20 00 1.03 Submittals: A. Concrete test results. B. Concrete design mix proposed to comply with Specifications. C. Provide Specification indicating materials to actually be utilized under this Section if choice permitted. D. Concrete Truck batch ticket indicating presence of specified admixture and amount added. 1.04 Referenced Standards: A. ACI, "Manual of Concrete Practice" B. ASTM C31, "Practice for Making and Curing Concrete Test Specimens in the field" C. ASTM C33, "Specification for Concrete Aggregates" D. ASTM C39, "Test Method of Compressive Strength of Cylindrical Concrete Specimens" E. ASTM C94, "Specification for Ready-Mixed Concrete" F. ASTM C143, "Test Method for Slump of Hydraulic Cement Concrete" G. ASTM C150, "Specification for Portland Cement" H. ASTM C172, "Method of Sampling Freshly Mixed Concrete" I. ASTM C231, "Test Method of Air Content of Freshly Mixed Concrete By the Pressure Method" J. ASTM C260, "Specification for Air-Entraining Admixtures for Concrete" 1.05 Testing: A. Testing of concrete as specified in this section shall be arranged by the Contractor. B. Concrete shall be sampled, handled and tested in strict accordance with the following Referenced Standards for the procedure indicated. 1) Sampling fresh Concrete: ASTM C172 2) Slump Determination: ASTM C143 3) Making, curing, protecting and transporting concrete test specimens: ASTM C31 4) Testing Compressive Strength: ASTM C39 5) Testing Air Content: ASTM C231 C. The following information shall be recorded concerning each sampling by the Testing Technician: 1) Name of Technician taking sample. 2) Date and time of sampling. 3) Air temperature and weather condition at time of sampling. 4) Design compressive strength of Concrete being sampled. 5) Source of Concrete, Truck Number and Ticket Number if batched offsite. 6) List of Admixtures indicated to be present in Concrete on batch ticket. 7) List of Admixtures and/or water added to the Concrete mix on site, whether added before or after sampling taken by Testing Technician and quantity of item added. 8) Specific location in structure in which the concrete is placed after sampling. D. Tests shall be performed for each Concrete Sampling to determine the following: 1) Concrete temperature at time of sampling. 2) Concrete Slump. 3) Concrete Air Content, if air entrainment specified, at the time of sampling. 4) Compressive Strength of Test Cylinders in the following quantities at the following increments from the date of sampling: a) One test at 7 days b) Two tests at 28 days c) One specimen shall be retained in reserve for later testing if required. E. The Testing Laboratory shall prepare a report recording the information required in items C. and D. above and mail the report directly to the Owner, Engineer and Contractor the day of the compressive tests. F. Four cylinders shall be made for each test. Perform a minimum of one test for each 100 cubic yards per class of concrete placed, but in no case shall there be less than one test for each day's concreting per class of concrete. G. Concrete to be tested shall be randomly selected by the Testing Technician without direction from the Contractor or material supplier. PART 2 PRODUCTS 2.01 Concrete: A. Concrete shall be composed of Portland Cement in conformance with ASTM C150, aggregates in conformance with ASTM C33 and water in conformance with ASTM C94, proportioned to achieve a compressive strength of 3,500 psi at 28 days unless noted otherwise in the specifications or on the drawings. Unless noted otherwise the maximum allowable slump shall be 4". B. Unless noted otherwise the water-cement ration shall not exceed .5 by weight. C. Air-entraining Admixture, where specified, shall conform with Referenced Standard ASTM C260. Provide air entraining admixture for all concrete exposed to freeze-thaw cycling. Air content shall be 7% +- 1%. 2.02 Additives: A. Admixtures containing thycyanates or calcium chloride are not permitted. B. Water reducing chemical admixtures shall conform to ASTM C494 - Type A.	C. Unless specified herein, additives or admixtures shall not be used without written approval from the Engineer. 2.03 Curing Compound: A. "Ellis Clear Acrylic cure 309" as manufactured by Ellis Construction Accessories, or equal meeting ASTM C309. Curing compound shall be an acrylic formula designed and certified to be compatible with resilient flooring adhesives. 2.04 Non-Shrink Grout: A. "Masterflow 713" by Master Building Co.; "SonogROUT" by Sonnebrone Building Products; "Crystex", as manufactured by L&M Construction Chemicals, Inc., or approved equal; with a minimum compressive strength of 5 psi at 28 days. 2.05 Vapor Barrier: A. 6 mil. polyethylene film. PART 3 EXECUTION 3.01 General Requirements: A. Mix, transport, test, place, finish and cure all Cast-In-Place Concrete and other products specified herein in strict accordance with Referenced Standards and manufacturer's written specifications. B. Notify Testing Laboratory 24 hours prior to placement of all concrete. 3.02 Supplemental Requirements: A. Grind smooth surface projections, remove loose concrete and patch with Non-shrink grout, in strict accordance with manufacturer's written specifications, all surface honeycombs, wall tie holes and other vertical wall surface deformations on concrete walls to be exposed or to receive waterproofing assembly. B. Provide light broom finish on sidewalk unless noted otherwise. C. Apply curing compound to all slab concrete in strict accordance with manufacturer's written specifications. Apply in sufficient quantity and reapply if necessary depending on weather conditions to protect concrete from premature drying. Apply additional coat of Curing Compound to slab concrete immediately after final cleaning of floor. D. Perform Cold Weather Concreting operations in strict accordance with the requirements of ACI 308R. E. Perform Hot Weather Concreting operations in strict accordance with the requirements of ACI 305R. F. Secure and install items to be embedded in Cast-In-Place Concrete in strict accordance with the manufacturer's written specifications, Referenced Standards and/or as indicated in the Drawings and Specifications. 3.03 Defective Concrete: A. Modify or replace concrete not conforming to required strength, levels, lines, details, and elevations. B. Repair or replace concrete not properly placed or not of the specified type or finish. END OF SECTION SITE CLEARING SECTION 31 10 00 PART 1 - GENERAL 1.01 DESCRIPTION OF WORK The extent of site preparation work expected to be minimal. This work includes, but is not limited to furnishing all labor, material, equipment, tools, incidentals, and services necessary for: Temporary silt fencing Protection of existing trees and vegetation Related work as required 1.02 SOIL EROSION AND SEDIMENTATION CONTROL A. Purpose - The purpose of this section is to minimize soil erosion and control sedimentation as required by the Soil Erosion and Sedimentation Control Act, Part 91, PA 451 of 1994 of the State of Michigan as amended. B. Permit - It is anticipated that a Soil Erosion and Sedimentation Control Permit will be required for this project. If a permit is required it shall be obtained prior to construction and shall be the responsibility of the contractor. C. Implementation - It shall be the responsibility of the Contractor to implement the Soil Erosion and Sedimentation Control Plan for this project in strict accordance with the permit, if required to be obtained. Unless specified within other sections of the specifications, all work under this section shall be in strict accordance with the construction methods as prescribed by the State of Michigan Department of Natural Resources for the implementation of this legislation. Refer to Michigan Guidebook for Soil Erosion and Sedimentation Control, prepared for and distributed by the Water Resources Commission of the Department of Natural Resources, State of Michigan. 1.03 JOB CONDITIONS A. Protection of Existing Improvements - Provide barricades, coverings or other types of protection necessary to prevent damage to existing improvements indicated to remain in place. Protect improvements on adjoining properties and on the Owner's property. Restore any improvements damaged by this work to the original condition as acceptable to the Owner and other parties or authorities having jurisdiction. PART 2 - PRODUCTS 2.01 PREASSEMBLED SILT FENCE A. Geotextile fabric - Polypropylene woven fabric, 2.3 oz./sq.yd., UV resistance 80% Prope® 2127, as mfd by Amoco Fabrics and Fibers Company, Austell, GA (770-944-4569), or approved equal. B. Silt Fence posts - As mfd by Amoco Fabrics and Fibers Company, Austell, GA (770-944-4569), or approved equal. PART 3
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3.01 General Requirements.

1. Subgrade Preparation for Subbase - The subgrade shall be smoothed and trimmed to the required line, graded and cross sectioned to receive the sub base course with no topsoil, organic material, sticks, roots or other deleterious materials and shall be compacted to not less than 90 percent (90%) M.U.W.
2. Subbase Preparation for Base - the subbase shall be smoothed and trimmed to the required line, grade, and cross section to receive the base course and shall be compacted to not less than 95 percent (95%) of M.U.W.
3. The subbase thus formed shall be maintained in a smooth and compacted condition until the base course has been placed.
4. No base course shall be placed on the subbase until it has been approved in writing by the Engineer or owner.
- a. Placing Base - Aggregate base shall not be placed when there are indications that the mixture may become frozen before the M.U.W. is attained and in no case shall the base be placed on a frozen subbase or subgrade.
5. The subbase shall be shaped to the specified crown and grade and maintained in a smooth condition. If hauling equipment should cause ruts in the subbase, such equipment will not be permitted on the subbase but shall be operated on the aggregate base.
6. The aggregate shall be placed in uniform layers to such a depth that when compacted the course will have the thickness shown on the plans. The aggregate shall be compacted to not less than 98% of M.U.W.
7. The finished surface shall be shaped to the crown and grade within a tolerance of ¼ inch, more or less. The surface shall be continuously maintained in a smooth condition.
8. Should the subbase or aggregate base become damaged due to the Contractor's operation, the subgrade, subbase or base shall be restored to the conditions required by these specifications at the Contractor's expense.
9. If the subbase or subgrade at any time prior to acceptance of the work becomes soft or unstable to the extent that it is forced up through or prevents compaction of the aggregate, such subbase or subgrade material and aggregate shall be immediately removed and disposed of and new material shall be placed and compacted as required by these documents.
10. A certification that the base material is in compliance with MDOT Specifications for Aggregate Base under Bituminous 22A shall be furnished to the Owner prior to payment or test slips shall be provided.
- Bituminous Paving
 1. All materials and placement shall meet the requirements specified her MDOT Specifications, current Edition .
 2. A certification that the bituminous material is in compliance with MDOT Specifications shall be furnished to the Owner prior to payment for the material.
- Foundation Preparation
 1. Before placing the bituminous mixture, the surface of the foundation shall be swept clean and all foreign material removed.
 2. The finished aggregate base surface shall be shaped to the crown and grade within a tolerance of plus or minus ¼ inch, and compacted to at least 98% of M.U.W. before placing bituminous material.
 3. Catch basins, manhole covers, and water valve covers shall be adjusted to the proper elevation by removing the castings and setting them to the required elevation by supporting them on a concrete collar or on masonry so constructed as to hold them firmly in place and not allow settlement around them.
- Rollers
 1. Self-propelled steel tandem rollers weighing not less than eight tons each will be required unless rollers of other types are specifically permitted. Rollers shall be equipped with wheel sprinklers and scrapers.
- Placing Bituminous Paving
 1. Bituminous mixture shall be placed with an approved mechanical paver. Bituminous material thickness shall not exceed 2-½ inches per application. Placing, rolling and other requirements or restrictions shall be governed by the MDOT Specifications, current Edition.
 2. No bituminous material shall be placed without written permission from the Engineer.

TURF & GRASSES
SECTION 32 92 00

1.01 SCOPE

section includes, but is not limited to furnishing all labor, materials, tools, incidentals, equipment and service for:

Seeding of all turf.
Related work as required

1.03 DELIVERY, STORAGE AND HANDLING

Seed and fertilizer materials shall be in original unopened containers and shall indicate weight, analysis, germination rate, name, and date code of the manufacturer. Materials shall be stored in an orderly manner, at a location acceptable to the Engineer, in a manner to prevent wetting and/or deterioration.

1.04 PROJECT CONDITIONS

- A. Seed Blend - Submit proposed seed blend to the owner or Engineer for approval.
- B. Seeding - Perform seeding work only after other work affecting ground surface has been completed.
- C. Watering - Provide adequate hose and watering equipment as required.
- D. Germination - Within thirty (30) days after seeding, it is expected that 60-80% of the seed will have germinated and grown.

1.05 SITE CONDITIONS

All unsatisfactory topsoil quantities or qualities or other unsatisfactory conditions detrimental to seeding shall be reported in writing to the Engineer or Owner. Seeding shall not continue prior to correction of, or written acceptance of the encountered conditions by the Owner.

1.06 WARRANTY

The Contractor shall provide a uniform stand of grass and shall provide watering, mowing and maintenance of all seeded areas prior to final acceptance by the Owner. The Contractor shall reseed all areas, with specified materials, which fail to provide a uniform stand of grass until the Owner accepts all affected areas.

PART 2 - PRODUCTS

2.01 TURF SEED

- A. Turf Supplier: All turf seed shall be as supplied from Michigan State Seed Company, 717 Clinton St., Grand Ledge, MI (Ph. 800-647-8873) or approved alternate source.
- B. Permanent cover (& Dormant Cover): shall be a consistent mixture of the following varieties for the Area Designated:

Grade A Mixture
Seed %/Wt. Germination
Kentucky Bluegrass (Mix.) 40% 85%
Fine Fescue 40% 85%

Note: On highly erodable slopes, contractor may have to add other varieties to the seed mix such as cereal grass.

Fertilizer for turf areas shall have a chemical analysis of at least 12% available nitrogen, 12% readily available phosphoric acid and 12% total available potash (12-12-12).

2.03 HYDRO-SEED MULCH

Nu-Wool® HydroGreen Plus™ 50/50 Hydroseeding Mulch, prepared for use in a tank of a hydro-mulching machine, as mfd by Nu-Wool, Inc., Jenison, MI, (Ph. 800-748-0128), or approved equal. Mulch shall be made from recycled paper material and be green in color. Mulch may be made from 50% virgin wood fiber and 50% recycled paper where approved by the Engineer.

2.04 STRAW MULCH

Mulch shall be straw or other approved organic material commonly used by the industry for the purpose of the mulching of seeded areas, and approved by the Engineer. Mulch shall be held in place with an approved seal/binder agent and Nu-Wool® HydroGreen Plus™ 50/50 Hydroseeding Mulch.

2.05 STRAW BINDER/ SEALER

Terra-Mulch Tacking Agent III, a water emulsified acrylic resin, Seal, as manufactured by Profile Products, Buffalo Grove, IL, (Ph. 800-508-8681), or approved equal.

2.06 WATER

Water shall be potable water, free of substance harmful to seed growth or other foreign matter. The Contractor shall furnish hoses and other methods of water transportation and application.

PART 3 - EXECUTION

3.01 TURF AREA SURFACE PREPARATION

Topsoil shall be fine raked to produce a smooth even surface that conforms to established grades. All stones, roots, clods 1.0" and larger in diameter, and all foreign matter shall be removed from the surface of areas to be seeded. The area shall be made smooth and uniform and parallel to the finished grade. The tops and bottoms of all slopes shall be rounded to blend into the natural ground or adjacent slopes by vertical curves. Seeded areas will be allowed a tolerance of 0.1 foot. Slope for drainage over turf areas shall have a minimum grade of 0.5%.

3.02 TURF - HYDRO-SEEDING METHOD

- A. This method shall be used for permanent seeding unless otherwise authorized in writing by the Engineer. The mixture of the seed, fertilizer, mulch and a tackifier used shall be as follows (2 parts water to one part mulch):
Grade A Seed Mixture: 4-5# /1,000 sq. ft. (175-220#/acre)
Fertilizer: 3.5# /1,000 sq. ft.
Hydro-Seed Mulch:
On slopes up to 3/1: (38) 40# bags / acre
On slopes from 3/1 to 2/1: (50) 40# bags / acre
On slopes than 2/1: slopes: (62.5) 40# bags / acre. Tackifier: 20# /acre (or more based on slope and mix's consistency)
- B. Grades 2:1 and greater shall also be straw mulched after being hydroseeded. Apply straw, and then apply Terra-Mulch Seed and Nu-Wood® HydroGreen Plus™ 50/50 with a hydroseeder at the rate as recommended by mfr.
- C. Protect surfaces and areas from overspray which are not indicated to be hydroseeded, including shrub bed, walks, light poles, etc. Immediately remove and clean hydroseed material from all such areas, which may accidentally have been sprayed.
- D. Place barriers as required to keep traffic off the seeded areas after they are completed. Contractor shall remove all barriers he installed when turf is established and before acceptance by Owner.
- E. For dormant cover areas, mulching must also be used on the hydro-seeded areas. The rate of application shall be 3 tons per acre of prepared seed bed.

3.09 TURF - MULCHING

Spread straw at the rate of one bale per 1000 square feet (43.5 bales /acre). Straw shall be mechanically crimped, and a sealer/binder shall be applied by hydro-seeder at the rate of 30# to 1,000 gallons of water along with 150# cellulose fiber per acre.

3.12 WATERING

To the point of acceptance, the Contractor shall be responsible for providing adequate water and application to assure the establishment of a dense, permanent turf. Provide adequate water during germination and after to continually keep the seed bed moist (without puddling).

END OF SECTION

Specifications



Gavlord, MI 49734



LAPHAM
ASSOCIATES

ENGINEERING
PLANNING
ENVIRONMENTAL
SURVEYING

116 South 3rd Street
West Branch, MI 48661
P (989) 345-5030
F (989) 345-7302

www.laphamassoc.com

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APPROVED USE FOR
☐ PRELIMINARY
☒ PERMIT/BID
☐ CONSTRUCTION
☐ FINAL RECORD

2-N



City of Gaylord

305 East Main Street, Gaylord, MI 49735

Phone: (989) 732-4060 Fax: (989) 732-8266

ZONING PERMIT APPLICATION

THE CITY OF GAYLORD STRONGLY ENCOURAGES THE USE OF THE SWISS ALPINE MOTIF IN THE CONSTRUCTION AND/OR RENOVATION OF ALL COMMERCIAL BUILDINGS IN THE CITY OF GAYLORD TO MAINTAIN, ENHANCE AND PROMOTE, "GAYLORD, THE ALPINE VILLAGE."

1. GENERAL INFORMATION:

Property Owner Name: Manage Michigan Holdings LLC Phone Number: 989 448 8883
Property Owner Address: 130 W Main St Gaylord MI 49735
Business Name (If Applicable): Manage Michigan
Contractor/Agent: Colc Muzil Phone Number: 989 448 8883
Address: 130 W Main St Gaylord MI 49735

2. PROPERTY DESCRIPTION:

Tax ID Number: 103-3000001-019-01
Property Address: 130 W Main
Nearest Cross-Street(s): N Court Ave & W Main St
Zoning District: B-1

3. PROPOSED USE AND/OR TYPE OF CONSTRUCTION

A. Proposed Use: office space / retail - NO Change
- change of color on building / repaint

B. Type of Construction:

- ☐ Single Family Dwelling
☐ Two or Multiple Family Dwelling – Number of Units: _____
☐ Garage, Storage Shed or Other Accessory Structure – Describe: _____
☐ Non-Residential Structure – Describe: _____
☐ Addition
☒ Other – Describe: Single story office/retail
☒ Use Change of Existing Structure existing use

4. PROPOSED SPECIFICATIONS

A. Setbacks: _____ Front _____ Rear
_____ Side _____ Side

B. Property Dimensions: _____

C. Exterior Dimensions of Proposed Structure: _____

D. Height of Proposed Structure: _____

E. Square Footage of Proposed Structure: _____

F. If Addition, Square Footage of Existing Structure: _____

G. Proposed Parking Spaces: _____

H. Parking Spaces Required Per Ordinance: _____

I. Ordinance requires that all driveways, drive approaches, means of ingress and egress to and from parking areas, vehicle storage areas and service drives be either asphalt or concrete for all developments except Single and Two-Family Dwelling properties. Certain exceptions are permitted for those areas behind the front face of a structure for those properties located in the M-1 District. All drive approaches in the road right-of-way of any district, for any use, must be either asphalt or concrete. A separate Drive Permit is required.

Does the Proposed Development Comply with the above requirements?

☐

Yes

☐

No

If no, please explain:

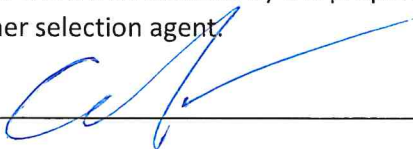
5. SITE PLAN:

Attach a scaled drawing using a common engineering or architect scale for all non-residential structures, which can be verified, in the field by the Zoning Administrator. Include the following:

- ☐ Lot or Parcel Dimensions, Scale, North Arrow, etc.
- ☐ Existing Building & Dimensions, Including Eaves and Dimensions
- ☐ Proposed Building & Dimensions, Including Eaves
- ☐ Front, Side and Rear Yard Setbacks
- ☐ Name of Street, Easements or Dedicated Right-of-Way
- ☐ Storm Water Retention or On-Site Drainage Detail
- ☐ Building Elevation
- ☐ Detailed Parking, Service Drives and Approaches, including Surface Materials

6. CERTIFICATION

I, hereby agree to comply with the provisions of the Zoning Ordinance of the City of Gaylord for the installation, construction, alteration, addition, demolition or use described herein, and, if not the property owner, I hereby certify that the proposed work is authorized by the property owner and I have been authorized to apply for zoning approval as his/her selection agent.

Application Signature:  Date: 7-29-26

7. APPROVAL

This application is in compliance with the City of Gaylord Zoning Ordinance and the application is eligible to apply for a building permit from the Otsego County Building Department.

Approval is granted for the following:

Conditions attached:

Approved _____ Denied _____

Reason: _____

Zoning District: _____ Zoning Permit Number: _____

Zoning Administrator Signature: _____ Date: _____

Planning Commission Members,

Under the new Master Plan, the B-1 district requires planning commission approval for color changes to buildings outside of the extremely limited palette listed below in the ordinance. Attached are the renderings of my new office façade. I will use two colors that are not administratively approvable, Black and Gold. The entire color pallet will consist of 4 colors: Black, Gold, White, and Brown. Also attached is an existing photo of the building. In our design I will keep the existing Alpine Motif as required. I believe this color palette will look very professional and fit this building and location. There will be no construction or demolition of the existing façade, and we will only be painting and adding a sign. The sign permit is submitted and follows the city ordinance. I respectfully request the members of the planning commission approve of my palette so we can start work immediately and move into the building in the next two weeks.

5. **Approved Building Colors.** Stucco products on building exteriors may be white, off-white, or pastel colors including soft yellow, pink, rose, beige, and gray.

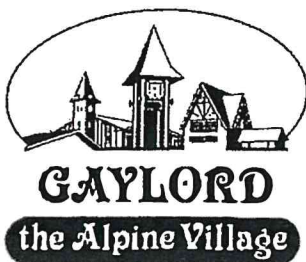
Trim materials may be painted, stained, or left natural in color if treated to ensure lasting durability. Approved colors include dark browns, green (including hunter green), and maroon. Variations of these colors including softer shades and natural woods may be considered. Color charts or color renditions depicting building colors must be submitted to the Planning Commission for approval. Color selection may not be modified without Planning Commission approval.

Supplied is a full copy of the ordinance to review.









CITY OF GAYLORD
305 East Main Street, Room
Gaylord MI 49735-1393
Telephone: (989) 732-4060
Fax: (989) 732-8266

APPLICATION FOR SIGN PERMIT

Date: 7-28-26

Applicant Name: Cole MCTZL

Address: 130 W March ST

Telephone No. 989 370 2481

Type of Sign: Flat wall Sign

Lineal front foot measurement of primary frontage of the building the business occupies:
~30

Is Sign Illuminated and How? (Flashing or intermittent lights are prohibited)

NO

Sign Dimensions: ~ 4' x 3'

Square Footage of Sign: ~ 30'² - 35'²

Overall Height of Sign: 3-3.5' with lettering

Location of Sign on Property:

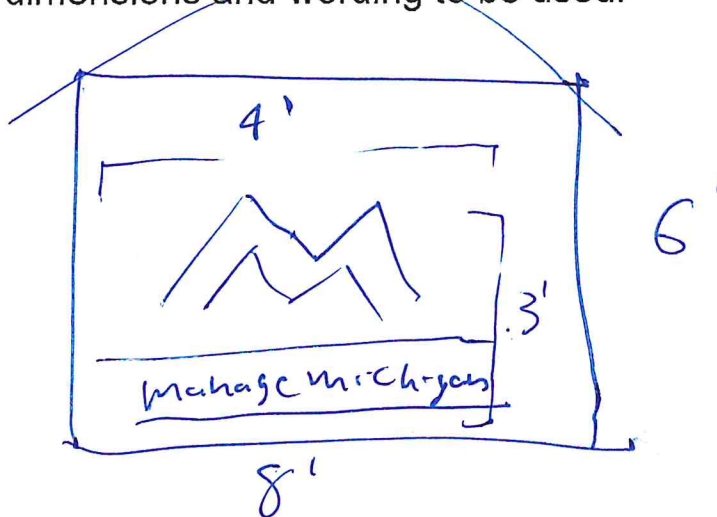
(If free-standing, please include setback distance from property lines)

130 W March ST Gaylord MI

Number, Type and Size of Existing Signs Located on Property:

1 existing sign. Unknown size

In the space provided below, please sketch your proposed sign(s).
Please include dimensions and wording to be used.



I acknowledge that this permit is for zoning purposes only and that the construction of any sign inside the City limits may be subject to the issuance of a building permit from the Otsego County Building Department. The Building Department may be contacted by telephoning 989 731-7400.

Applicant Signature

7-28-26

Date

TO BE COMPLETED BY CITY

Date Issued: _____

Permit Number: _____

Issued By: _____

Comments: _____





City of Gaylord

305 East Main Street, Gaylord, MI 49735

Phone: (989) 732-4060 Fax: (989) 732-8266

SPECIAL USE PERMIT APPLICATION

THE CITY OF GAYLORD STRONGLY ENCOURAGES THE USE OF THE SWISS ALPINE MOTIF IN THE CONSTRUCTION AND/OR RENOVATION OF ALL COMMERCIAL BUILDINGS IN THE CITY OF GAYLORD TO MAINTAIN, ENHANCE AND PROMOTE, "GAYLORD, THE ALPINE VILLAGE."

1. GENERAL INFORMATION:

Property Owner Name: Dustin Steiner Phone Number: 989-350-1773

Property Owner Address: 146 W center ave

Business Name (If Applicable): Lone Ronin Tattoo LLC

Contractor/Agent: _____ Phone Number: _____

Address: _____

2. PROPERTY DESCRIPTION:

Tax ID Number: 41-3456997

Property Address: _____

Nearest Cross-Street(s): _____

Zoning District: _____

3. PROPOSED USE AND/OR TYPE OF CONSTRUCTION

A. Proposed Use: tattoo studio

B. Type of Construction:

☒ Non-Residential Structure – Describe: tattoo studio

☐ Addition

☐ Canopy over handicap ramp

☐ Other – Describe: _____

☒ Use Change of Existing Structure

4. PROPOSED SPECIFICATIONS

- A. Setbacks: _____ Front _____ Rear
_____ Side _____ Side
- B. Property Dimensions: _____
- C. Exterior Dimensions of Proposed Structure: _____
- D. Height of Proposed Structure: _____
- E. Square Footage of Proposed Structure: _____
- F. If Addition, Square Footage of Existing Structure: _____
- G. Proposed Parking Spaces: _____
- H. Parking Spaces Required Per Ordinance: _____
- I. Ordinance requires that all driveways, drive approaches, means of ingress and egress to and from parking areas, vehicle storage areas and service drives be either asphalt or concrete for all developments except Single and Two-Family Dwelling properties. Certain exceptions are permitted for those areas behind the front face of a structure for those properties located in the M-1 District. All drive approaches in the road right-of-way of any district, for any use, must be either asphalt or concrete. A separate Drive Permit is required.

Does the Proposed Development Comply with the above requirements?

☒ Yes ☐ No

If no, please explain: _____

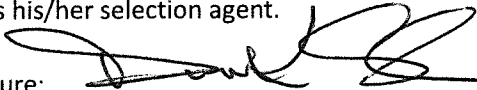
5. SITE PLAN:

Attach a scaled drawing using a common engineering or architect scale for all non-residential structures, which can be verified, in the field by the Zoning Administrator. Include the following:

- ☐ Lot or Parcel Dimensions, Scale, North Arrow, etc.
- ☐ Existing Building & Dimensions, Including Eaves and Dimensions
- ☐ Proposed Building & Dimensions, Including Eaves
- ☐ Front, Side and Rear Yard Setbacks
- ☐ Name of Street, Easements or Dedicated Right-of-Way
- ☐ Storm Water Retention or On-Site Drainage Detail
- ☐ Building Elevation
- ☐ Detailed Parking, Service Drives and Approaches, including Surface Materials
- ☐ Air Quality, Waste, Safety, and Security Plan

6. CERTIFICATION

I, hereby agree to comply with the provisions of the Zoning Ordinance of the City of Gaylord for the installation, construction, alteration, addition, demolition or use described herein, and, if not the property owner, I hereby certify that the proposed work is authorized by the property owner and I have been authorized to apply for zoning approval as his/her selection agent.

Application Signature:  Date: 7-29-26

7. APPROVAL

This application is in compliance with the City of Gaylord Zoning Ordinance and the application is eligible to apply for a building permit from the Otsego County Building Department.

Approval is granted for the following:

Conditions attached:

Approved _____ Denied _____

Reason: _____

Zoning District: _____ Special Use Permit Number: _____

Zoning Administrator Signature: _____ Date: _____